



REGULAR PLANNING COMMISSION MEETING AGENDA
Wednesday, February 28, 2024 5:00 PM
City Council Chambers, Elks Civic Building - 107 S. Cascade Ave.

The Montrose Planning Commission is pleased to have residents of the community take time to attend Planning Commission Meetings. We encourage your attendance and participation. Individuals wishing to be heard during public hearing proceedings are encouraged to be prepared and will generally be limited to three minutes to allow everyone the opportunity to be heard. *The 11 pm rule will be enforced in accordance with City of Montrose Regulations (Sec. 7-15-2).*

Additional written comments are welcome. If you would like to comment on an agenda item, please [email the city](#). Written comments must be received by noon one week prior to the meeting in order to be included in the Planning Commission packet. After that deadline, comments received by noon the day prior to the meeting will be distributed to the Planning Commission on the meeting day.

Hearing assistance devices are available for public use. Please let us know if you need accommodation. The City also offers interpretation for Spanish speakers. In order to allow time to book this resource, please [email the city](#) at least three days before the meeting.

- 1) Planning Commission meeting called to order
- 2) Roll call by the Planning Commission Chair
- 3) Approval of Minutes of the January 24, 2024 Planning Commission meeting.
- 4) Additions or Deletions
- 5) **SHELTER DISTILLING SIGN VARIANCE** This is an application for a variance to the City of Montrose sign code for the new Shelter Distilling property, located at 947 Mayfly Dr. The applicant is requesting a variance to allow up to 233 square feet across 4 signs. The applicant is Shelter QOZB, LLC.
- 6) Annual Development Report
- 7) Annual Annexation Report & 3 Mile Plan
- 8) Other Business



9) Next Meeting will be March 13, 2024

10) Motion to Adjourn



City of Montrose Planning Commission

January 24, 2024

The Montrose City Planning Commission held a meeting on January 24, 2024 at 5:00 p.m. in City Hall Council Chambers. The meeting agenda was posted in accordance with the Colorado Open Meetings Act (C.R.S. §24-6-401, et.seq.).

Planning Commissioners Present: David Fishing (Chair), Chad Huffman (Vice-Chair), Steve Ball, Phoebe Benziger, Ronald Cairns (alternate), Jan Chastain, Delphine Jadot and Richard Rogers. Absent: None.

Staff Members Present: William Reis (Planner II), Jace Hochwalt (Planning Manager), Chris Dowsey (City Attorney), Scott Murphy (City Engineer), Sharon Dunning (Building Services Technician), Chris Ottinger (Community Development Specialist), Michelle Wingfield (DART and Grant Coordinator), Montrose Police Officer.

There were 69 members of the public in attendance.

Call to Order

Chairperson David Fishing called the meeting to order at 5:00 p.m.

Approval of Minutes

Richard Rogers moved to approve the minutes of the December 13, 2023 meeting as submitted. Ron Cairns seconded, and the motion carried unanimously.

Additions or Deletions

None.

Election of Chair and Vice-Chair.

Phoebe Benziger nominated Dave Fishing for Chairperson. Delphine Jadot seconded, and the motion passed unanimously. Dave Fishing continues as Chairperson.

Jan Chastain nominated Chad Huffman as Vice-Chair. Phoebe Benziger seconded and the motion passed unanimously. Chad Huffman continues as Vice-Chairperson.

Sugarpine Rezone

Chad Huffman recused himself from the next items and left the meeting.

This application is a request to rezone a portion of a property from "R-2" Low Density District to "R-3" Medium Density District (approximately 20.61 acres) on a property located on the northwest corner of Miami Road and 6700 Road, and south of Evans Street. The applicant is Christopher Koch.

Staff Presentation

William Reis introduced this item. All public requirements have been fulfilled and the official files and exhibits have been entered into the record.

Scott Murphy discussed the subdivision process, including traffic, traffic studies, water, water resources, sewer, environmentally sensitive items, etc., and gave an overview of some future projects.

Jace Hochwalt discussed the housing needs assessment and gave a high-level overview of the Comprehensive Plan.

Applicant Presentation

Chris Koch, applicant, came forward to give a presentation on development plans for the Sugarpine Subdivision.

Questions for Applicant

Planning Commissioners and applicant discussed density and number of living units, timeline for development, and approximate price of the new homes.

Questions for Staff

Planning Commissioners and staff discussed possible densities, Miami Road issues, and reasons for current zoning.

Public Hearing

Nineteen members of the public came forward to state their concerns about the zone change. The concerns included increase in traffic, loss of fertile farmland, impacts to wildlife, Cedar Creek, schools, definition of affordable housing, safety and welfare of residents, sidewalks, parking, and the bridge over Cedar Creek.

Questions for staff

Planning Commissioners, staff and applicant discussed density and proposed number of units, definition of affordability, zoning and the Comprehensive Plan, split zoning, style and variety of proposed homes, and impact to schools.

Discussion

Planning Commissioners discussed the rezone application, the reason for the requested change and the maximum number of new living units that could be built.

Motion and Vote

Ron Cairns moved to recommend approval of the rezone request of the Sugarpine Rezone to "R-3" Medium Density District. The request meets the Code criteria based on the evidence and testimony presented at this hearing and in the staff report. Steve Bell seconded, and the motion carried unanimously. Richard Rogers, Phoebe Benziger and Jan Chastain voted against the motion. The motion passed 4 to 3.

Sugarpine Subdivision and Planned Development Sketch Plan

This is a review and discussion of the Sugarpine Subdivision and Planned Development Sketch Plan. The property is approximately 37.31 acres. The subdivision proposes 225 residential lots. The Planned Development proposes allowing townhouse construction (up to 8 connected units), as well as reduced rear setbacks within the subdivision. The applicant is Christopher Koch.

No action to be taken. Staff recommends the Planning Commission share feedback with the applicant.

Staff Presentation

No additional presentation was made. All public requirements have been fulfilled and the official files and exhibits have been entered into the record.

Applicant Presentation

Chris Koch, applicant, came forward to discuss his sketch plan and receive suggestions from the Planning Commission.

Questions for Applicant

Planning Commissioners and applicant discussed and made suggestions about sidewalks, open space, the creek, connections between communities, wildlife, HOA, streets, off-street parking, size of driveways, funding for affordable housing, fencing, trails, and greenspace.

Public Hearing

Fourteen members of the public came forward to discuss the sketch plan. Questions were asked about the creek and greenspace, affordable housing, traffic studies, and the trail system. Concerns were about traffic and access through Ironhorse Subdivision, safety of the creek, reduction in setbacks, wildlife, security, and construction vehicles.

Discussion

Planning Commissioners, applicant and staff discussed access through Ironhorse Subdivision, location of the bridge, offset of intersections, what counts as open space, who takes care of parks and trails, wildlife habitat, when a traffic study is conducted, and flooding of the creek.

Staff gave the dates for City Council first and second reading of this item.

Other Business

None.

Next Meeting

The next Planning Commission meeting is scheduled for February 14, 2024.

Public Comment

None.

Adjournment

Richard Rogers moved to adjourn the meeting. Jan Chastain seconded, and the meeting ended at 9:05 p.m.

Chairperson

Attest



CITY OF MONTROSE

Planning Services

MEMO

TO: Planning Commission
FROM: William Reis, Planner II
DATE: February 28, 2024
RE: Shelter Distilling Sign Variance
ATTACHMENTS:

- Exhibit A: Maps
- Exhibit B: Sign Plan
- Exhibit C: Code Excerpts

Public notice requirements have been fulfilled in accordance with Section 11-4-3(D) of the City of Montrose Municipal Code. A sign was posted on the property, letters sent to property owners within 300 feet, and an ad appeared in the Montrose Daily Press.

Planning Commission Consideration:

The Planning Commission is reviewing an application for a variance to sign regulations to be granted to Lot 17 of the Colorado Outdoors Subdivision Amendment No. 5, also addressed as 947 Mayfly Dr. The Planning Commission shall approve or deny the variance application. The Planning Commission will consider all of the information in this memo in making a decision.

Application Background:

This project is a variance that would allow for a total of 233 square feet of signage across 4 signs on Lot 17 of the Colorado Outdoors Subdivision Amendment No. 5. The property is located in the "I-1" Light Industrial District. Businesses in this zoning district are ordinarily limited to 2 signs, totaling the lesser of one and a half square feet per linear foot of principal street frontage or 200 square feet of signs. Due to the commercial use of the property and additional frontage along pedestrian pathways, the applicant is requesting a variance to the sign code.

Applicant: Shelter QOZB, LLC

Staff Analysis:

1. The criteria for granting variances to sign regulations are listed below. Municipal Code, Section 11-7-13 (D). Variances shall be granted only if the following criteria are met:
 - a. The variance will not adversely affect the public health, safety and welfare.
 - b. The variance requested is the minimum variance that will afford relief.
 - c. The variance will not result in signage incompatible with other properties in the area and will not affect or impair the value, use or development of such properties.
 - d. Strict compliance with the regulation presents practical difficulties or unnecessary hardships, and the variance sought falls within the spirit of the sign code as a whole.
2. Sign Provisions
 1. Businesses in the I-1 zoning district may have up to two signs, with a maximum of 200 square feet.
 2. Uses as allowed in the "B-3" General Commercial District are also allowed in the Colorado Outdoors Subdivision, as per the PD Plan.

Zoning District	Maximum Number of Signs	Maximum Square Footage of Signs Per Lot-All Signs Combined
B-2, B-2A, B-3	Two Primary, One Secondary	The lesser of one and a half sq. ft. per linear foot of principal street frontage or 300 sq. ft.
I-1, I-2	One Primary	The lesser of one and a half sq. ft. per linear foot of principal street frontage or 200 sq. ft.

3. The Variance does not appear to be adverse to the public health, safety and welfare, and is consistent with Municipal Code requirements and the City of Montrose Comprehensive Plan.

Staff Recommendation:

The staff finds that the criteria have been met, and recommend approval of the request.

Planning Commission Motion Alternatives:Approval Motion Recommendation:

"I hereby make a motion to approve the request to allow a variance for up to 233 square feet of signage across 4 signs on Lot 17 of the Colorado Outdoors Subdivision Amendment No. 5. The request meets the Code criteria and standards based on the evidence and testimony presented at this hearing and in the staff report."

Denial Motion Recommendation:

"I hereby make a motion to deny the request. The request does not meet the Code criteria based on the evidence and testimony presented at this hearing and in the staff report."

EXHIBIT A: Maps

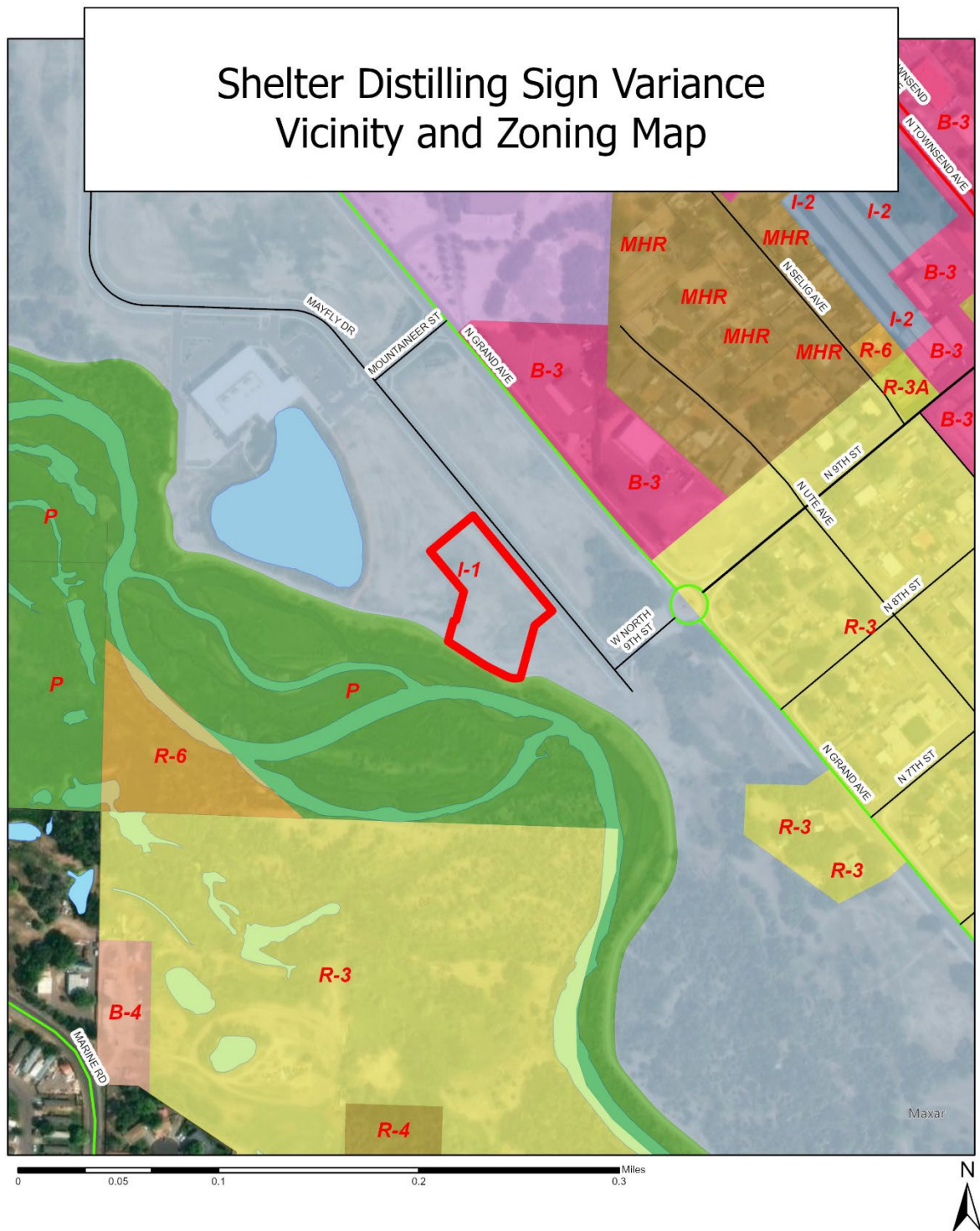


Exhibit C Sec. 11-7-13. Variances.

- (A) The Planning Commission may grant a variance from the requirements set out in this Chapter, if it determines, following the review procedures of Chapter 11-4 of this Title, that the criteria of this Section will be met. Provided, however, no variance shall be granted from provisions restricting uses by right, accessory and conditional uses within any zoning district.
- (B) Variances shall be granted only if all the following criteria are met:
 - (1) The variance will not adversely affect the public health, safety and welfare.
 - (2) Unusual physical circumstances shall exist, such as unusual lot size or shape, topography, or other physical conditions peculiar to the affected property, and violations of code shown by clear and convincing evidence that they were made in good faith, which make it unfeasible to develop or use the property in conformity with the provisions of this Chapter in question.
 - (3) The unusual circumstances have not been created as a result of the action or inaction of the applicants, other parties in interest with the applicant, or their or his predecessors in interest.
 - (4) The variance requested is the minimum variance that will afford relief and allow for reasonable use of the property.
 - (5) The variance will not result in development incompatible with other property or buildings in the area, and will not affect or impair the value or use or development of other property.
- (C) The burden shall be on the applicant to show that these criteria have been met.
- (D) Variances shall be granted for sign regulations only if all of the following criteria are met, in lieu of the criteria of Subsection (B) of this Section.
 - (1) The variance will not adversely affect the public health, safety and welfare.
 - (2) The variance requested is the minimum variance that will afford relief.
 - (3) The variance will not result in signage incompatible with other properties in the area and will not affect or impair the value, use of development of such properties.
 - (4) Strict compliance with the regulation presents practical difficulties or unnecessary hardships, and the variance sought falls within the spirit of the sign regulations (Chapter 10 of this Title) as a whole.

(Ord. No. 2626 , § 3(exh. A), 5-16-2023)

CHAPTER 11-10. SIGNS

Sec. 11-10-1. Purpose and intent.

- (A) It is the purpose of this Chapter to promote the public health, safety and general welfare through a comprehensive system of reasonable, consistent and nondiscriminatory sign standards and requirements. The provisions in this Chapter are intended to:
 - (1) Enable the identification of places of residence and business.
 - (2) Allow for the communication of information necessary for the conduct of commerce.
 - (3) Lessen hazardous situations, confusion and visual clutter caused by proliferation, improper placement, illumination, animation and excessive height, area and bulk of signs which compete for the attention of pedestrian and vehicular traffic.
 - (4) Enhance the attractiveness and economic well-being of the City as a place to live, vacation and conduct business.

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- (5) Protect the public from the dangers of unsafe signs.
 - (6) Permit signs that are compatible with their surroundings and aid orientation, and preclude placement of signs in a manner that conceals or obstructs adjacent land uses or signs.
 - (7) Encourage signs that are appropriate to the zoning district in which they are located.
 - (8) Establish sign size in relationship to the scale of the lot and building on which the sign is to be placed or to which it pertains.
 - (9) Preclude signs from conflicting with the principal permitted use of the site or adjoining sites.
 - (10) Regulate signs in a manner so as to not interfere with, obstruct vision of or distract motorists, bicyclists or pedestrians.
 - (11) Ensure the fundamental First Amendment right of free speech is recognized and protected in the City's regulation of signs, within the guidelines provided by controlling court decisions.
- (B) If any part, Section, Subsection, paragraph, subparagraph, sentence, phrase, clause, term, or word of this Chapter and/or any other provisions are declared invalid or unconstitutional by the valid judgment or decree of any court of competent jurisdiction, the declaration of such unconstitutionality shall not affect the validity or enforceability of any other prohibition herein.

(Ord. No. 2626 , § 3(exh. A), 5-16-2023)

Sec. 11-10-2. General provisions.

- (A) Off-premises signs, as defined in Section 11-15-7 of this Title are not permitted, with only the following exceptions:
- (1) Signs within the boundary of a new subdivision unless less than ten percent of the lots remain for initial sale.
 - (2) Signs on City-owned property, unless otherwise provided in this Chapter.
 - (3) Signs within outdoor athletic venues, such as ballparks, golf courses, football fields, and soccer fields which are directed to spectators and participants in a manner to minimize visual impact outside of the athletic venue.
 - (4) Signs included within a coordinated sign plan.
 - (5) Signs approved in accordance with a Special Event sign permit.
- (B) No sign shall be located so that the safety of a moving vehicle or pedestrian will be impaired by obscuring their vision or obstructing their travel.
- (C) The color or format shall not resemble or conflict with traffic signs or signals, as shown or described by the Manual of Uniform Traffic Control Devices (MUTCD), as amended from time to time.
- (D) All signs must be maintained in good repair. Temporary signs not maintained in good condition, including, but not limited to, those that have faded, torn, become tattered, droopy, hazardous, or untethered, shall be removed or repaired. Temporary signs not maintained in good condition shall be considered a nuisance, and may be abated by the City in accordance with the City's nuisance abatement procedures.
- (E) Illumination of signs shall be arranged to reflect away from residential properties, and shall otherwise comply with Chapter 9 Outdoor Lighting of this Title.
- (F) All signs shall be located on a premises with a permanent building consisting of a foundation.

(Ord. No. 2626 , § 3(exh. A), 5-16-2023)

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(Supp. No. 9)

Sec. 11-10-3. Nonconforming signs.

- (A) The following nonconforming signs may continue to be used and maintained only in accordance with and subject to the limitations, criteria and requirements of this Section:
- (1) Signs which were or are lawfully erected and maintained under applicable existing federal, state and County regulations prior to and at the time of annexation to the City and which have been or are maintained as legally nonconforming signs in accordance with City regulations thereafter.
 - (2) Signs which were or are lawfully erected and maintained in accordance with City sign regulations in effect at the time of their erection, but which became or become nonconforming on account of subsequent amendment to the City sign regulations.
 - (3) Signs which would otherwise not be permitted may be temporarily allowed, for a period of up to 12 months, in the discretion of the City Manager, if an emergency, hardship, or new business in that location requires such temporary forbearance from this Chapter, and the owner submits a cash escrow in the amount of 150 percent of the estimated cost, to the City for installation of signage compatible with current City regulations.
- (B) Signs which are nonconforming in the following respects shall not be permitted and shall be brought into conformity immediately, or upon annexation, notwithstanding any other provision of this Section.
- (1) Any rotating, flashing or animated sign.
 - (2) Any sign which was erected in violation of the requirements of applicable federal, state, County or City regulations in effect at the time of erection.
 - (3) Any sign which creates a hazard to pedestrians or vehicular traffic by creating sight barriers, by having a color or format which resembles or conflicts with traffic control devices, or otherwise.
 - (4) Any sign which is not maintained in reasonably good repair or which creates a safety hazard to persons or property.
 - (5) Any sign which creates a public or private nuisance.
- (C) Signs which were lawfully nonconforming on February 1, 1984, or upon annexation subsequent thereto may be used and maintained only substantially as such sign existed on February 1, 1984, or the date of annexation. No material change or alteration may be made which increases the nonconformity, or which alters the size or the message of the sign; provided, however, ordinary maintenance of the sign is permitted.
- (D) The right provided herein to maintain a nonconforming sign shall be terminated and the sign removed or brought into compliance with these regulations along with any other signs related to the same business under the following conditions:
- (1) Abandonment of the sign, abandonment or termination of the related business, or an interruption in continuance of the related business for a period of 90 days.
 - (2) A change in the name of the business or change in the sign message.
 - (3) A violation of any provision of this Chapter by the owner or party in lawful possession of the sign. The destruction of the sign, or damage to the sign such that the cost of repair is greater than 50 percent of the replacement cost of the sign.
- (E) Existing signs on nonconforming uses may be permitted to continue for as long as the nonconforming use exists, but may not be extended or altered in any way.

(Ord. No. 2626 , § 3(exh. A), 5-16-2023)

Sec. 11-10-4. Sign permits.

- (A) *Sign Permit Required.* Except as provided in this Section, all signs shall require a sign permit, on forms acceptable to the City, issued by the City Manager following the same procedure as a building permit, and with administrative fees as set forth in the City Regulation Manual. The burden shall be upon the applicant for a sign permit to prove compliance with applicable provisions of the City's outdoor lighting regulations. (Chapter 9 of this Title)
- (B) *Exempt Signs.* The following signs are exempt from obtaining a sign permit:
- (1) *Temporary Signs.* Each business may have one temporary sign or banner at a time, in all nonresidential zoning districts without a permit so long as the sign or banner is no larger than 64 square feet in area, complies with applicable height limitations, is maintained in good repair, and does not interfere with the reasonable use of adjoining property, or create a nuisance. The area of such a temporary sign shall not be included in the maximum sign area subject to a permit.
 - (2) Official traffic control devices.
 - (3) Signs and notices erected, owned and maintained by the City of Montrose.
 - (4) Signs within outdoor athletic venues, such as ballparks, golf courses, football fields, and soccer fields which are directed to spectators and participants in a manner to minimize visual impact outside of the venue.
 - (5) Window signs.
 - (6) *Portable Signs.*
 - (a) One portable sign per business or use may be erected without a City sign permit in all commercial zones, not to exceed 16 square feet in sign area and four feet in height, in addition to the maximum sign area permitted as indicated in Section 11-10-6. The permittee shall be required to obtain additional permits from other agencies, if required by law. Such signage shall not create a nuisance; nuisances created by such signs may be abated in accordance with the City's nuisance laws.
 - (b) In the "B-1" zone only, a business may place one portable sign directly in front of, or directly beside their business premises, so long as the sign does not create a traffic or other safety hazard, or unreasonably impede pedestrian traffic on the sidewalk, and conforms substantially to the design guidelines developed by the applicable retail merchants' association or downtown merchants' association for such signs, if any; responsibility for enforcement of said retail merchants' design guidelines shall not be upon the City.
 - (7) Dispenser type displays such as soft drink machines, gasoline pumps, tire displays and ice machines, with information printed by the manufacturer on the dispenser, provided the City determines they are not detrimental to the general appearance and character of the area.
- (C) This Chapter is not intended to control or limit appropriate seasonal decorations which do not constitute a public nuisance or hazard.
- (D) *Revocable Encroachment Permit Required.* Signs may be placed on City property by other parties only if authorized by the City or specifically allowed by City ordinances or regulations, a revocable encroachment permit, easement, or other specific authorization. The City may issue a revocable encroachment permit to the owner of abutting premises on street rights-of-way with at least a 100-foot right-of-way width, on terms appropriate to protect the City's interests, when the area encroached is not currently needed for vehicular or pedestrian traffic, so long as no nuisance or safety hazard will be created. Signs placed on City property without authorization are subject to removal and disposal by the City.

- (E) *Special Event Sign Permit Required.* Festivals, fairs, markets, commercial or noncommercial sales, and public events shall obtain a Special Event sign permit for all signage, and shall be exempt from the temporary sign limitations of this Section, provided said festival, fair, market, commercial or noncommercial sale or event is open for public use no more than 96 consecutive hours, or four calendar days, including those times when the festival, fair, market, commercial or noncommercial sale or event is not in actual operation. The sign face area of Special Event signs shall not be included in the maximum sign area subject to a sign permit. All signage related to the festival, fair, market commercial or noncommercial sale or event shall be promptly removed at the conclusion thereof. Festivals, fairs, markets, commercial or noncommercial sales, and public events may obtain Special Event sign permits up to 12 times per calendar year; said permits may run consecutively. Balloons, streamers, flags and pennants may be allowed up to the maximum height of a freestanding sign allowed in the zone in which the event is located. All balloons of any shape must fit within a three-foot cube (three feet high by three feet deep by three feet wide). Human-held and human-powered signs, and live, costumed advertisers or performers shall also be allowed; all other animated signs not listed specifically in this Subsection shall be prohibited. All signage subject to a Special Event sign permit shall be on-premises. The permit may contain conditions as appropriate to protect the reasonable use of adjoining property, and the public.

(Ord. No. 2626 , § 3(exh. A), 5-16-2023)

Sec. 11-10-5. Coordinated sign plan.

The coordinated Sign Plan Regulations as enacted by Ordinance No. 2155 shall continue in full force and effect solely as to properties which have recorded a Coordinated Sign Plan Declaration of Covenants. The Declarant, his heirs, successors and assigns may, at any time, elect to record a document revoking said Declaration of Covenants, making the property encumbered thereby subject to the current version of this Chapter.

(Ord. No. 2626 , § 3(exh. A), 5-16-2023)

Sec. 11-10-6. Sign standards by zoning district.

The provisions in Table 10.1 apply with respect to the zones and uses indicated.

Table 10.1
Sign Standards by Zoning District

Zoning District	Maximum Number of Signs	Maximum Square Footage of Signs Per Lot-All Signs Combined	Maximum Height of a Freestanding Sign	Maximum Size of a Freestanding Sign*
B-1	Two Primary, One Secondary**	The lesser of 1.5 sq. ft. per linear foot of principal street frontage or 200 sq. ft.	20 feet	Single-tenant: 96 sq. ft.; Multi-tenant: 144 sq. ft.
B-4	Two Primary, One Secondary**	The lesser of 1½ sq. ft. per linear foot of principal street frontage or 200 sq. ft.	10 feet	Single-tenant: 96 sq. ft., Multi-tenant: 144 sq. ft.

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B-2, B-2A, B-3	Two Primary, One Secondary**	The lesser of one and a half sq. ft. per linear foot of principal street frontage or 300 sq. ft.	25 feet	Single-tenant: 96 sq. ft., Multi-tenant: 144 sq. ft.
Lots with two or more separate businesses in the B-2, B-2A, B-3, I-1, and I-2 zones	One Freestanding, One Primary wall sign for each business frontage on a street or parking lot	1½ sq. ft. per linear foot of principal street frontage (no maximum sq. ft.). Building wall signs are limited to one and a half sq. ft. per linear foot of business frontage.	25 feet	144 sq. ft.
I-1, I-2	One Primary	The lesser of one and a half sq. ft. per linear foot of principal street frontage or 200 sq. ft.	10 feet	Single-tenant: 96 sq. ft., Multi-tenant: 144 sq. ft.
OR	One Primary, One Secondary	Buildings 2,000 sq. ft. or less: six sq. ft. Buildings over 2,000 sq. ft.: 32 sq. ft. Secondary sign: six sq. ft.	6 feet	Buildings 2,000 sq. ft. or less: four sq. ft., Buildings over 2,000 sq. ft.: 32 sq. ft.
RL, R-1, R-1A, R-1B, R-2, R-3, R-3A, R-4, R-5, R-6	One Primary, One Secondary***	Buildings 3,000 sq. ft. or less: six sq. ft. Buildings more than 3,000 sq. ft.: 32 sq. ft.	6 feet	Buildings 3,000 sq. ft. or less: six sq. ft. Buildings over 3,000 sq. ft.: 32 sq. ft.
MHR	One Primary, One Secondary***	12 sq. ft.	4 feet	6 sq. ft.

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Other Signs by Zone District	Number	Sign Size	Maximum Height of a Freestanding Sign	Permit Required
Electronic Reader Boards (B-2, B2-A and B-3 Only)		May be no larger than 48 sq. ft.	25 feet	Yes
Temporary Signs and Banners (Nonresidential zoning only)	One Temporary, Sign or Banner	64 sq. ft.	25 feet	No
Portable Sign (Commercial Zones only)	One sign per business or use	16 sq. ft.		No
Development Entrance Sign (All Zones)	Two	80 sq. ft.	10 feet	Yes
Secondary Sign (Nonresidential Zones only)	One			Yes

* Freestanding sign square footage shall be included in the maximum square footage of signage per lot.

** Secondary signs in commercial zones are limited to 32 square feet.

*** Secondary signs in residential zones are allowed only for buildings over 3,000 square feet, and are limited to six square feet.

(Ord. No. 2626 , § 3(exh. A), 5-16-2023)

Sec. 11-10-7. Supplemental sign standards.

- (A) *Maximum Sign Area.* The maximum sign area permitted per business or function present upon a single lot or parcel shall be as specified in the table contained in the tabulated provisions of Section 11-10-6.

Where the maximum sign area is based upon a computation determined by the linear feet of principal street frontage, the allowed maximum shall be applied to the entire lot or parcel, regardless of the number of businesses or functions thereon.

- (B) *Sign Clearance.* A projecting sign shall be a minimum height of nine feet above ground level. A projecting sign shall not extend more than five feet over the public right-of-way, and it shall not be higher than the roofline of the building at the point where it is attached. A revocable encroachment permit, as set forth in Section 11-10-4(D), shall be required for signs projecting over City-owned rights-of-way. Other agencies may have requirements in addition to those set forth herein.

- (C) *Sight Triangle Provisions.*

- (1) For traffic safety reasons, whenever practicable, a 15-foot minimum setback shall apply to all freestanding signs in all zoning districts except "B-1."
- (2) The City's sight triangle requirements shall apply to temporary signs, and all signs used pursuant to a Special Event sign permit.

- (D) *Development Entrance Signs.* Developments, including subdivisions, planned developments, multifamily dwelling complexes, mobile home parks, and industrial parks, may have up to two freestanding monument entrance signs. Such freestanding monument entrance signs are not allowed upon any City property, including public rights-of-way, unless a revocable encroachment permit is approved.

- (E) *Electronic Reader Boards.*

- (1) Electronic reader boards, and any portion of the sign face thereof may be changed no more frequently than once every eight seconds.
- (2) Use of electronic reader boards shall be limited to the "B2," "B2-A" and "B3" zoning districts, and said signs shall be no larger than 48 square feet.
- (3) The City may inspect the settings for electronic reader boards at any time during business hours for the business operating the sign, to determine compliance with these provisions.

- (F) *Freestanding Signs.* The permanent sign base of a freestanding sign shall have an aggregate width of at least 40 percent of the width of the sign cabinet or face. All supporting structures of a freestanding sign shall match the primary finish and colors of the associated building.

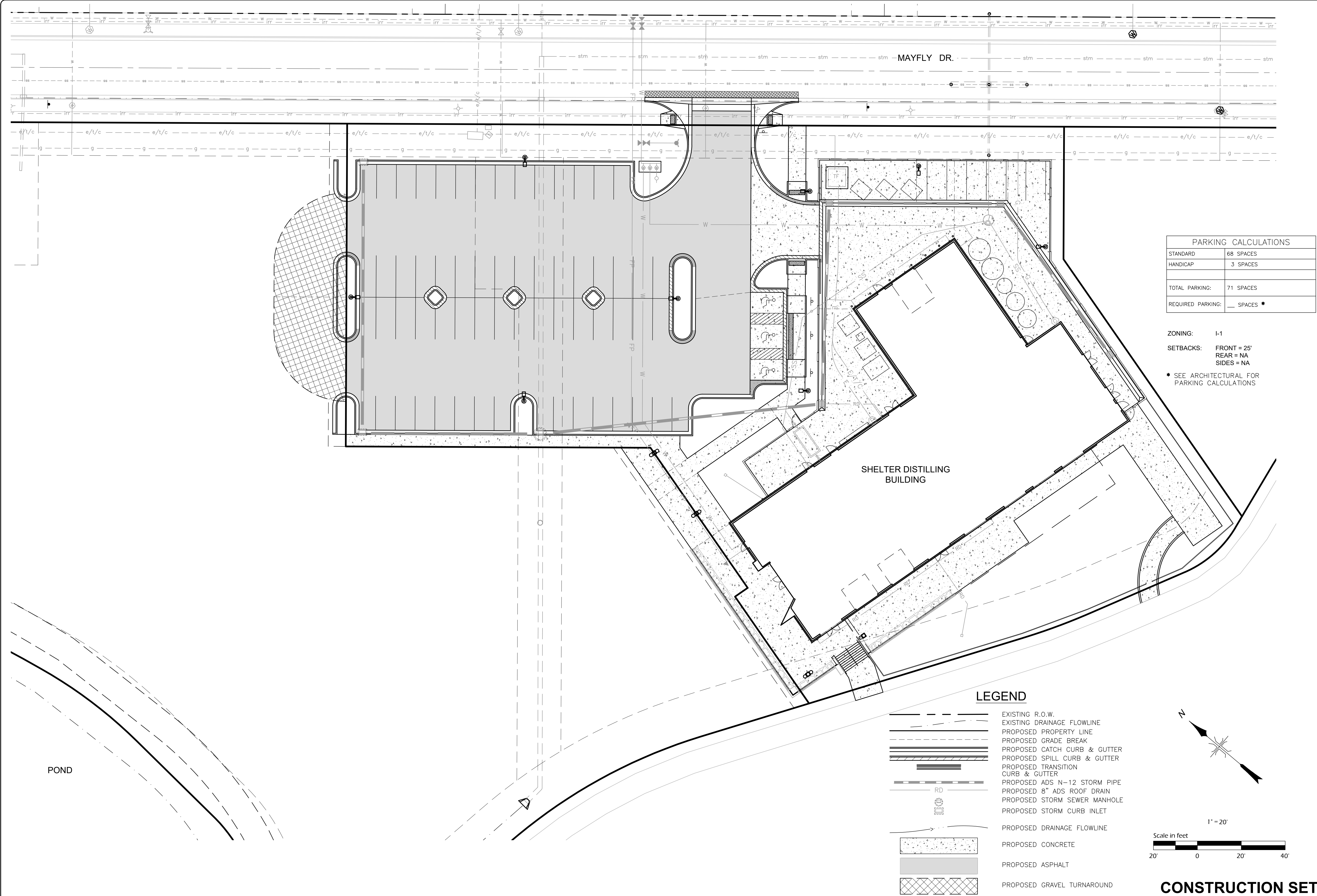
- (1) One freestanding sign shall be permitted per multitenant lot or parcel.
- (2) One hundred fifty square feet of landscaping shall be required around the base of any freestanding sign located within 50 feet of a public right-of-way.
- (3) Permanent freestanding signs 12 feet or lower in total height shall be exempt from the 40 percent base width requirements set forth in this Subsection, provided that the sign shall have a sign face area not to exceed 40 square feet per sign face.

- (G) *Vehicle-Mounted Signs.* All vehicle-mounted signs shall be permanently affixed, painted, magnetically applied or otherwise mounted upon a vehicle and shall not project more than 18 inches above the surface to which they are attached; and any sign which is mounted upon the roof, hood or trunk of a vehicle and which projects above such surface upon which it is mounted shall not exceed two square feet in area per face. Banners displayed on vehicles shall be subject to the provisions contained in Section 11-10-4(E).

-
- (H) *Wall Signs.* If a business has more than one frontage on streets and alleys, it may have one additional wall sign not to exceed 32 square feet.
 - (I) *Window Signs.* Window signs not exceeding two square feet are permitted in residential zones.
 - (J) *Prohibited Signs.* No rotating, flashing, roof, or animated signs or signs containing a moving message shall be permitted. This does not prohibit scrolling signs in windows or electronic reader boards.

(Ord. No. 2626 , § 3(exh. A), 5-16-2023)

PLOTTED BY ROUNCAN, FILE PATH & NAME = \\DMS14\PROJECTS\ACTIVE PROJECTS\2022\2015-CO OUTDOORS SHELTER DISTILLING\C3D\SHEETS\2015C_CIVIL-PLANS.DWG, PLOT DATE = 3/14/2023 9:42 AM



PARKING CALCULATIONS	
STANDARD	68 SPACES
HANDICAP	3 SPACES
TOTAL PARKING:	71 SPACES
REQUIRED PARKING:	SPACES *

ZONING: I-1
 SETBACKS: FRONT = 25'
 REAR = NA
 SIDES = NA
 * SEE ARCHITECTURAL FOR PARKING CALCULATIONS

COLORADO OUTDOORS
SHELTER DISTILLERY
MONTROSE, COLORADO

HORIZONTAL OVERVIEW

DMS
DEL-MONT CONSULTANTS, INC.
ENGINEERING & SURVEYING
1225 Colorado Ave. • Montrose, CO 81401 • (970) 249-2251 • (970) 249-2342 FAX
WWW.DELMONTCONSULTANTS.COM • INFO@DELMONTCONSULTANTS.COM

DESIGNED BY: RDD

SCALE: 1" = 20'

DATE ISSUED: 2023-01-31

22015

C2-1

REVISIONS

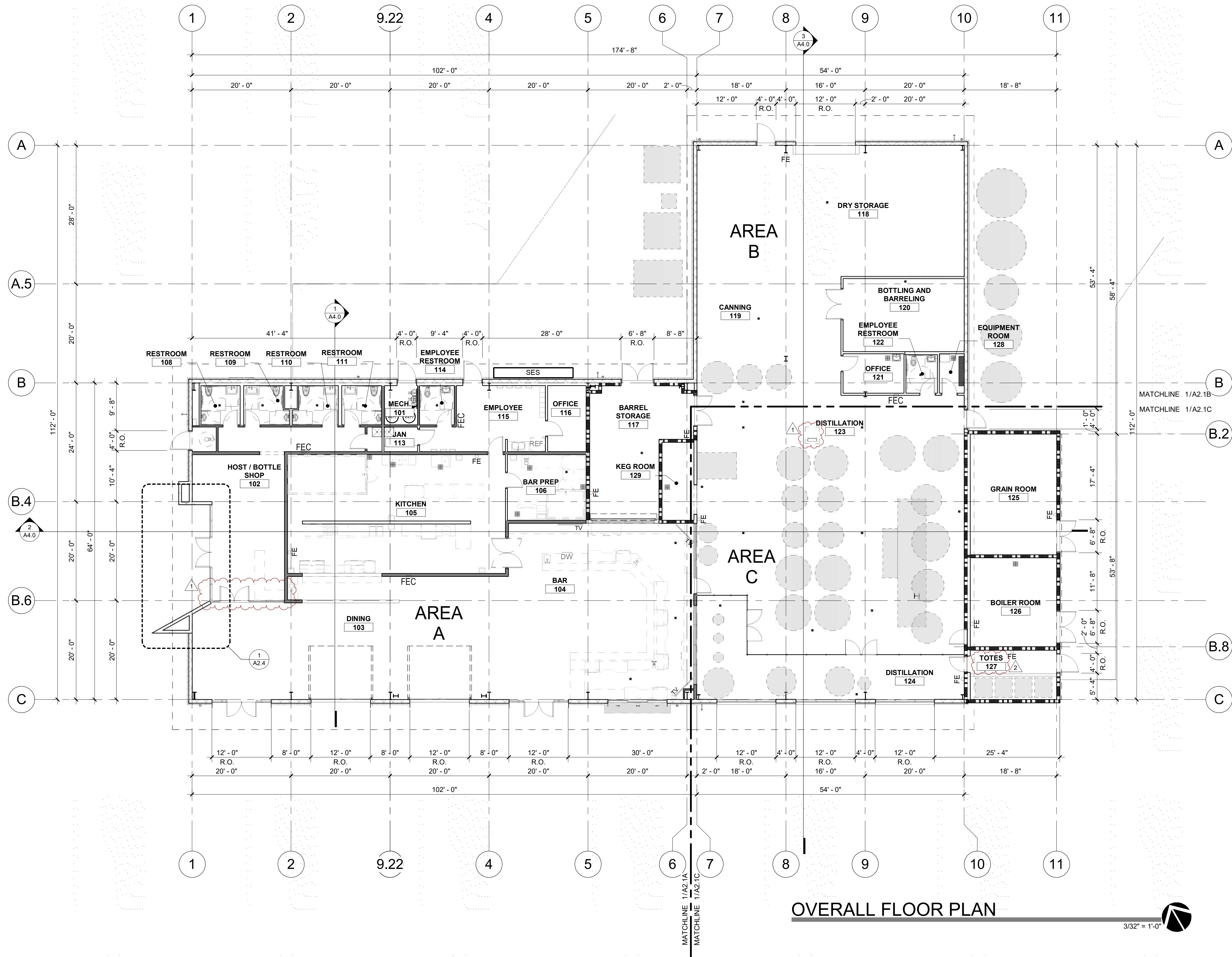
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DATE

BY

Page 19 of 52

\\PDDC01\Architecture\2018\18-006.0-Colorado_Outdoors\18-006.35-Shelter_Distilling\06 Construction Documents\REVIT Support\Permitted Revit Model\18-006.35_A_Architect.rvt 3/15/2023 3:25:25 PM



OVERALL FLOOR PLAN

3/32" = 1'-0"

GENERAL FLOOR PLAN NOTES

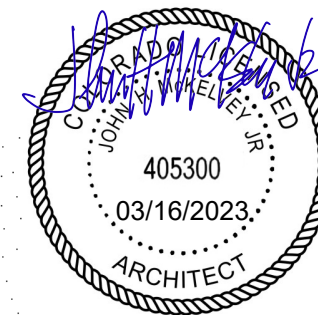
- REFER TO INTERIOR ELEVATIONS AS NOTED FOR ADDITIONAL DIMENSIONS AND KEYNOTES.
- SEE SHEET A8.0 FOR PARTITION TYPES AND DETAILS
- INSTALL APPROVED WALL-MOUNTED FIRE EXTINGUISHERS WITH BRACKETS AND WALL MOUNTS. FIRE EXTINGUISHERS SHALL BE U.L. RATED 2A-10BC AT ALL AREAS EXCEPT KITCHEN. 1A-K IN KITCHEN, WITH REQUIRED CAPACITY AND SHALL COMPLY WITH REQUIREMENTS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- PROVIDE AND INSTALL A.F.E.S. SYSTEM THROUGHOUT WITH SPRINKLER LINES AND HEADS TO ALL SPACES. ALL WORK SHALL COMPLY WITH CITY OF MONTROSE REQUIREMENTS. GC SHALL BE RESPONSIBLE FOR MAKING ALL THE NECESSARY SUBMITTALS TO THE APPLICABLE JURISDICTIONS AND AGENCIES TO SECURE PERMITS AS REQUIRED. PROVIDE SPRINKLER FIRE PROTECTION PER NFPA #13. ALL WORK SHALL BE PERFORMED BY A CITY OF MESA APPROVED AND LICENSED FIRE SPRINKLER CONTRACTOR.
- ALL UNGROUTED CMU CELLS SHALL BE FILLED WITH POLYURETHANE FOAM INSULATION ALONG GRIDLINE "10"
- ALL JOINTS AT MASONRY TO MASONRY AND GYPSUM BOARD TO MASONRY SHALL BE PRIMED AND SEALED. INSTALL SEALANTS PER MANUFACTURERS INSTRUCTIONS.
- SEE SLAB PLANS, SHEETS A2.4 THROUGH A2.6 FOR FOUNDATION INFORMATION
- SEE PARTIAL FLOOR PLANS, SHEETS A2.1 THROUGH A2.3 FOR KEYNOTE ANNOTATIONS

FLOOR PLAN LEGEND

- EXTERIOR WALL
- INTERIOR PARTITION OR FURRING
- 1 HOUR RATED
- 2 HOUR RATED
- FULL HEIGHT PARTITION
- EQUIPMENT (SHOWN FOR REFERENCE ONLY. TO BE OWNER FURNISHED OWNER INSTALLED)
- WINDOW TAG
- DOOR TAG
- PARTITION TAG
- SEMI-RECESSED FIRE EXTINGUISHER CABINET
- FIRE EXTINGUISHER STRAP OR BRACKET MOUNTED. MOUNT AT 27" A.F.F. MAX.



1048 N. 44th St. #200
Phoenix, AZ 85008
602.952.8585



SHELTER DISTILLING

MONTROSE, COLORADO

OVERALL FIRST FLOOR PLAN

ARCHITECTURE PROJECT #: 18-006.35

INTERIORS PROJECT #: 2203.00

DATE: 2.1.23

DRAWN BY: MC

REV #	DATE	DESCRIPTION
1	3/16/23	CITY COMMENTS
2	3/16/23	OWNER REVISIONS

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SHEET

A2.0
PLEASE RECYCLE



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SHELTER DISTILLING

MONTROSE, COLORADO

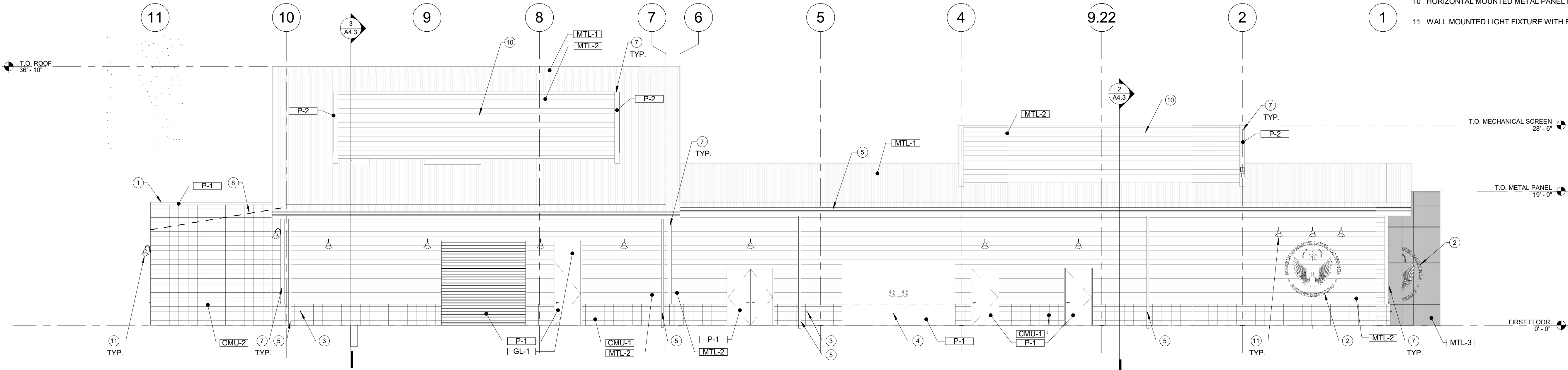
EXTERIOR ELEVATIONS

EXTERIOR FINISHES AND MATERIALS SCHEDULE

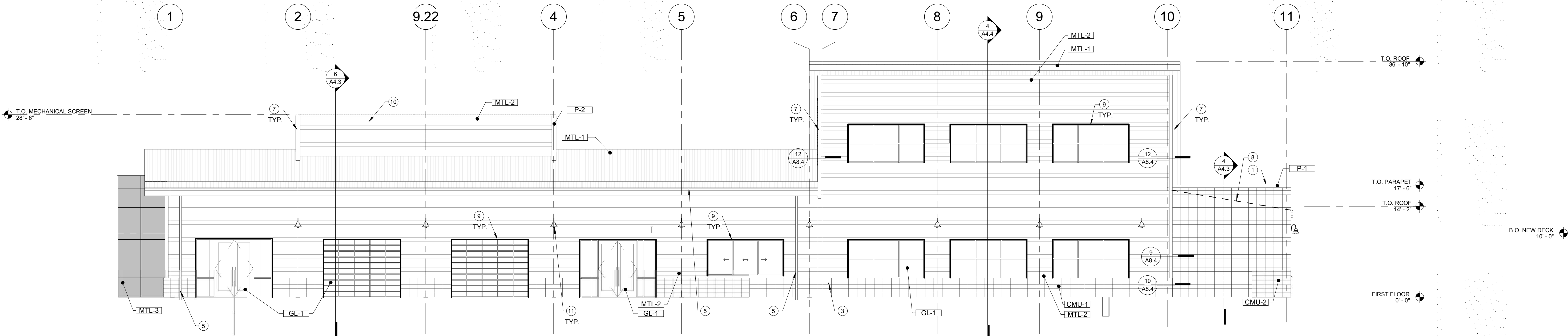
PAINT	
P-1	PAINT TO MATCH CMU-1
P-2	PAINT TO MATCH MTL-1
P-3	PAINT TO MATCH MTL-2
MASONRY	
CMU-1	8x4x16 SMOOTH FACE CMU- INTEGRAL COLOR "BLACK CANYON" WITH WATER REPELLANT ADMIXTURE
CMU-2	8x8x16 SMOOTH FACE CMU- INTEGRAL COLOR "BLACK CANYON" WITH WATER REPELLANT ADMIXTURE
GLASS	
GL-1	1" INSULATED VITRO - SOLARCOOL (2) ON PACIFICA + CLEAR. VLT: 15; VLR (E): 10%; SHGC:0.25
METAL	
MTL-1	MBMI WEATHER LOK 16- FACTORY FINISH "BURNISHED SLATE"- SEE PEMB DRAWINGS
MTL-2	MBMI 7.2 RIB PANEL- FACTORY FINISH "GALVALUME"- SEE PEMB DRAWINGS
MTL-3	1/8" COLD ROLLED STEEL PANEL MOUNTED WITH EXPOSED BOLT ANCHORS

EXTERIOR ELEVATION KEYNOTES

- NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS SHEET
- PRE-FINISHED METAL COPING
 - CONCEPTUAL WALL MOUNTED SIGNAGE BY OTHERS- UNDER SEPARATE SUBMITTAL AND PERMIT
 - HOSE BIBB- SEE PLUMBING DRAWINGS
 - SERVICE ENTRY SECTION- SEE ELECTRICAL DRAWINGS
 - ROOF GUTTER WITH DOWNSPOUT- SEE PEMB DRAWINGS- COLOR TO MATCH MTL-1
 - FIRE DEPARTMENT CONNECTION- SEE CIVIL DRAWINGS
 - EXTERIOR METAL PANEL CORNER TRIM- SEE PEMB DRAWINGS
 - DASHED LINE INDICATES LINE OF ROOF BEYOND
 - COLD ROLLED STEEL WINDOW / DOOR SHROUD - SEE DETAIL 1/A8.4
 - HORIZONTAL MOUNTED METAL PANEL MECHANICAL SCREEN- SEE PEMB DRAWINGS
 - WALL MOUNTED LIGHT FIXTURE WITH BLACK FINISH- SEE ELECTRICAL DRAWINGS



NORTHEAST ELEVATION



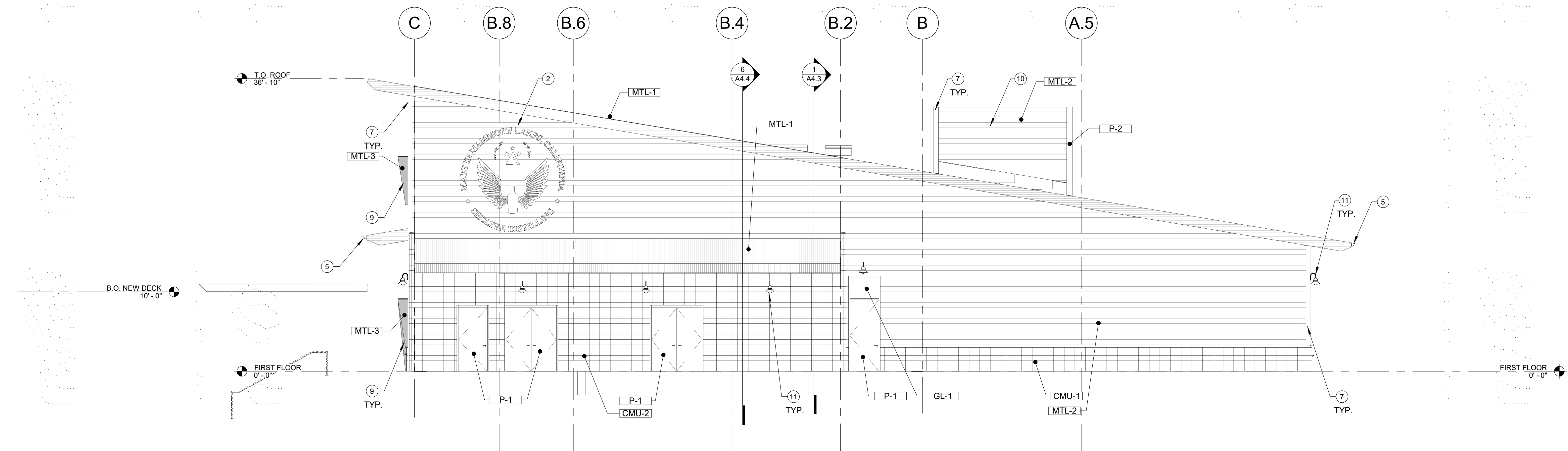
SOUTHWEST ELEVATION

ARCHITECTURE PROJECT #: 18-006.35
INTERIORS PROJECT #: 2203.00
DATE: 2.1.23
DRAWN BY: MC
REV # DATE DESCRIPTION

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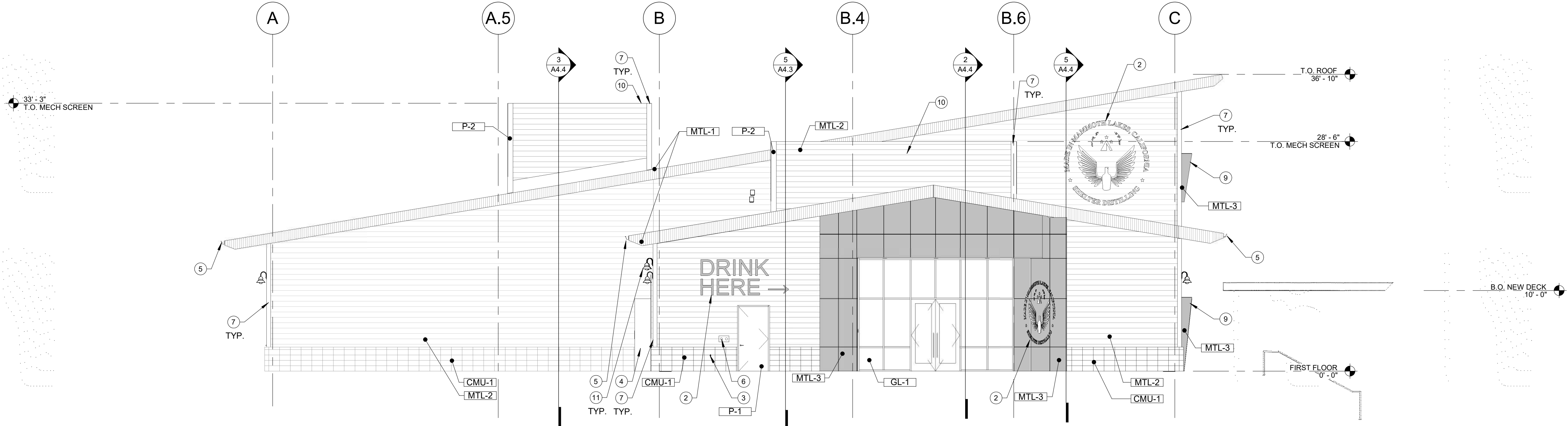
SHEET

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EAST ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

EXTERIOR FINISHES AND MATERIALS SCHEDULE

PAINT	
P-1	PAINT TO MATCH CMU-1
P-2	PAINT TO MATCH MTL-1
P-3	PAINT TO MATCH MTL-2
MASONRY	
CMU-1	8x16 SMOOTH FACE CMU- INTEGRAL COLOR "BLACK CANYON" WITH WATER REPELLANT ADMIXTURE
CMU-2	8x16 SMOOTH FACE CMU- INTEGRAL COLOR "BLACK CANYON" WITH WATER REPELLANT ADMIXTURE
GLASS	
GL-1	1" INSULATED VITRO - SOLARCOOL (2) ON PACIFICA + CLEAR, VLT: 15; VLR (E): 10%, SHGC:0.25
METAL	
MTL-1	MBMI WEATHER LOK 16- FACTORY FINISH "BURNISHED SLATE"- SEE PEMB DRAWINGS
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MTL-3	1/8" COLD ROLLED STEEL PANEL MOUNTED WITH EXPOSED BOLT ANCHORS

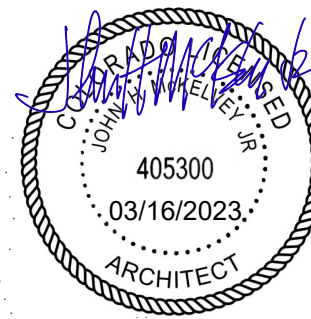
EXTERIOR ELEVATION KEYNOTES

NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS SHEET

- 1 PRE-FINISHED METAL COPING
- 2 CONCEPTUAL WALL MOUNTED SIGNAGE BY OTHERS- UNDER SEPARATE SUBMITTAL AND PERMIT
- 3 HOSE BIBB- SEE PLUMBING DRAWINGS
- 4 SERVICE ENTRY SECTION- SEE ELECTRICAL DRAWINGS
- 5 ROOF GUTTER WITH DOWNSPOUT- SEE PEMB DRAWINGS- COLOR TO MATCH MTL-1
- 6 FIRE DEPARTMENT CONNECTION- SEE CIVIL DRAWINGS
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- 10 HORIZONTAL MOUNTED METAL PANEL MECHANICAL SCREEN- SEE PEMB DRAWINGS
- 11 WALL MOUNTED LIGHT FIXTURE WITH BLACK FINISH- SEE ELECTRICAL DRAWINGS



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602.952.8585



SHELTER DISTILLING

MONTROSE, COLORADO

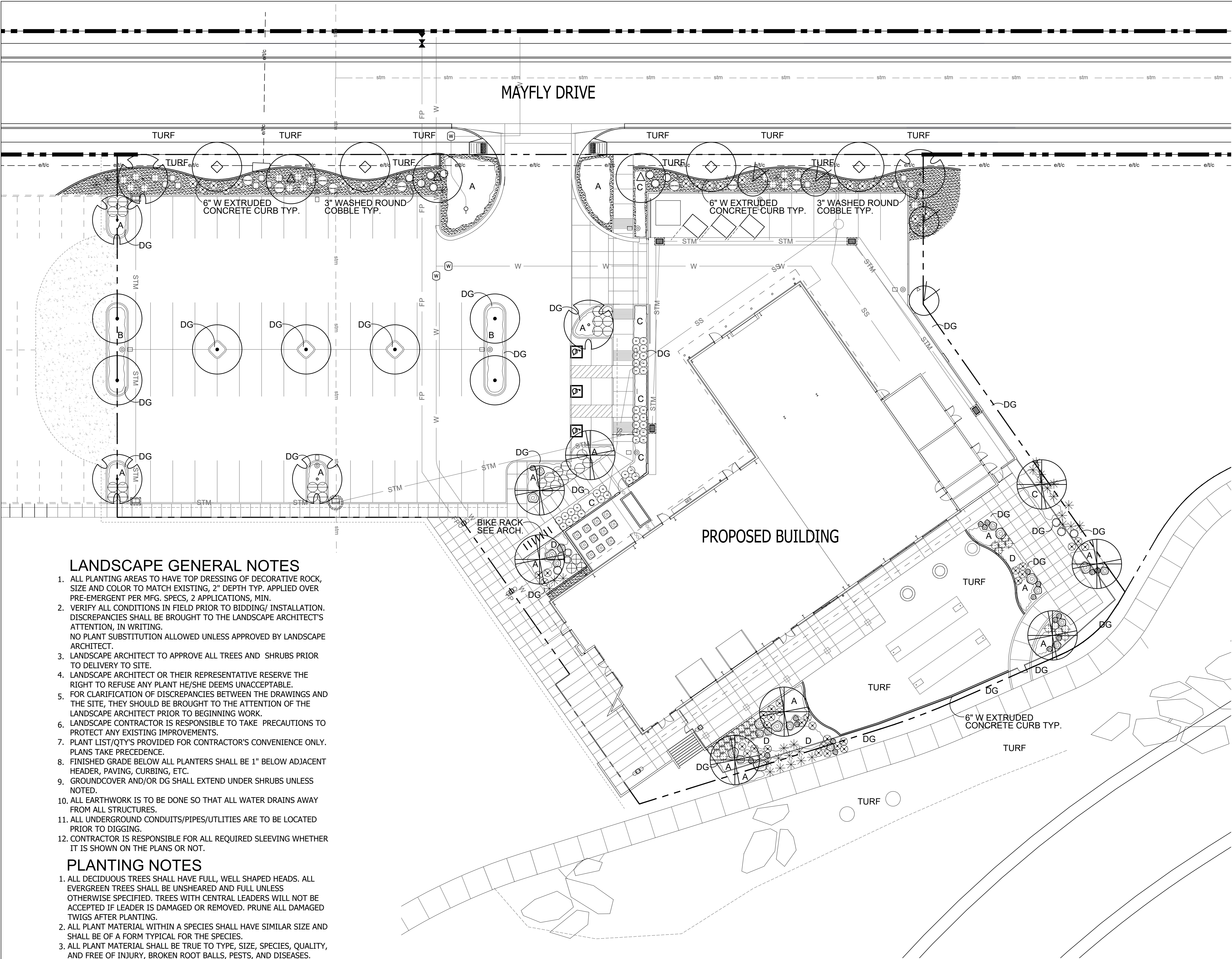
EXTERIOR ELEVATIONS

ARCHITECTURE PROJECT #: 18-006.35
INTERIORS PROJECT #: 2203.00
DATE: 2.1.23
DRAWN BY: MC
REV # DATE DESCRIPTION

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SHEET

A3.1
PLEASE RECYCLE



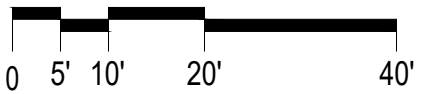
LANDSCAPE GENERAL NOTES

- ALL PLANTING AREAS TO HAVE TOP DRESSING OF DECORATIVE ROCK, SIZE AND COLOR TO MATCH EXISTING, 2" DEPTH TYP. APPLIED OVER PRE-EMERGENT PER MFG. SPECS, 2 APPLICATIONS, MIN.
- VERIFY ALL CONDITIONS IN FIELD PRIOR TO BIDDING/ INSTALLATION. DISCREPANCIES SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION, IN WRITING. NO PLANT SUBSTITUTION ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT TO APPROVE ALL TREES AND SHRUBS PRIOR TO DELIVERY TO SITE.
- LANDSCAPE ARCHITECT OR THEIR REPRESENTATIVE RESERVE THE RIGHT TO REFUSE ANY PLANT HE/SHE DEEMS UNACCEPTABLE.
- FOR CLARIFICATION OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE, THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONS TO PROTECT ANY EXISTING IMPROVEMENTS.
- PLANT LIST/QTY'S PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY. PLANS TAKE PRECEDENCE.
- FINISHED GRADE BELOW ALL PLANTERS SHALL BE 1" BELOW ADJACENT HEADER, PAVING, CURBING, ETC.
- GROUNDCOVER AND/OR DG SHALL EXTEND UNDER SHRUBS UNLESS NOTED.
- ALL EARTHWORK IS TO BE DONE SO THAT ALL WATER DRAINS AWAY FROM ALL STRUCTURES.
- ALL UNDERGROUND CONDUITS/PIPES/UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SLEEVING WHETHER IT IS SHOWN ON THE PLANS OR NOT.

PLANTING NOTES

- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL SHAPED HEADS. ALL EVERGREEN TREES SHALL BE UNSHEARED AND FULL UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- ALL PLANT MATERIAL WITHIN A SPECIES SHALL HAVE SIMILAR SIZE AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES.
- ALL PLANT MATERIAL SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES.

PLANTING PLAN



SCALE: 1"=20'-0"

MASTER PLANT LIST

TREES	SIZE/COMMENTS/QTY
ACER NEGUNDO 'SENSATION' SENSATIONAL MAPLE	3" CALIPER / B & B LOW - BREAKING 8 QTY / MATCHED
PYRUS CALLERYANA 'AUTUMN BLAZE' AUTUMN BLAZE PEAR OPTION: CRABAPPLE SPECIES	3" CALIPER / B & B LOW - BREAKING 6 QTY / MATCHED
KEOLREUTERIA PANICULATA GOLDEN RAIN TREE	2" CALIPER / B & B LOW - BREAKING 4 QTY / MATCHED
ACER TATARICUM 'HOT WINGS' HOT WINGS MAPLE	3" CALIPER / B & B MULTI - TRUNK 3 QTY / MATCHED
GLEDITSIA INERMIS 'IMPERIAL' 'IMPERIAL' LOCUST	2" CALIPER / B & B LOW - BREAKING 7 QTY / MATCHED
LIQUIDAMBAR 'SLENDER SILHOUETTE' SLENDER SILHOUETTE SWEETGUM OPTION: UPRIGHT POPLAR	2" CALIPER / B & B LOW - BREAKING 4 QTY / MATCHED
SHRUBS	
BERBERIS THUNBERGII 'CONCORDE' DWARF BARBERRY	5 GAL, 36 QTY
CARYOPTERIS CLANDONENSIS BLUE MIST SPIREA	5 GAL, 12 QTY
BERBERIS THUNBERGII 'CRIMSON PYGMY' CRIMSON PYGMY BARBERRY	5 GAL, 47 QTY
PINUS MUGO 'PUMILIO' DWARF MUGO PINE	5 GAL, 13 QTY
ERICAMERIA NAUSEOSA DWARF BLUE RABBITBRUSH	5 GAL, 53 QTY
BUXUS JAPONICA JAPANESE BOXWOOD	5 GAL, 29 QTY
PICEA PUNGENS 'GLOBOSA' DWARF GLOBE SPRUCE	5 GAL, 9 QTY
POTENTILLA FRUTICOSA 'HAPPY FACE' WHITE POTENTILLA	5 GAL, 3 QTY
ORNAMENTAL GRASSES	
CALAMAGROSTIS ACUTIFLORA KARL FORESTER REED GRASS	5 GAL, 30 QTY
GROUNDCOVER	
JUNIPERUS SABINA 'BROADMORE' BROADMORE JUNIPER	1 GAL, 3' O.C. 211 QTY
JUNIPERUS TAMARISCIFOLIA TAM JUNIPER	1 GAL, 4' O.C. 30 QTY
RHUS AROMATICA 'GRO-LOW' GRO-LOW SUMAC	1 GAL, 3' O.C. 66 QTY
FESTUCA GLAUCA BLUE FESCUE	1 GAL, 2' O.C. 85 QTY
TURF	TURF SOD TO MATCH COLORADO OUTDOORS PARK STANDARDS
INERT MATERIAL	
DECORATIVE GRAVEL - SIZE AND COLOR AS SELECTED	2" DEPTH MIN.
DECORATIVE GRAVEL 3" WASHED ROUND COBBLE BOULDER TO MATCH RIVERFRONT FEATURE SIZE AND QTY PER PLAN	2" DEPTH MIN.



COLORADO OUTDOORS

SHELTER DISTILLERY

MONTEROSE, COLORADO

G.K. FLANAGAN ASSOCIATES, INC

LANDSCAPE ARCHITECTURE PLANNING

4626 N. 44th STREET PHOENIX, AZ 85018

602 . 912 . 8891 tel

602 . 912 . 8893 fax



revisions:

date: 02.01.2023

contents: PLANTING PLAN

sheet no. L100

CALL BEFORE YOU DIG

811

COLORADO811.ORG





Dear Review Board,

My name is Matt Hammer, and I am applying for a sign variance on behalf of Shelter for the new facility we are building within the Colorado Outdoors project in Montrose, CO. We are thrilled to be part of the Colorado Outdoors development and contribute to the unique charm it promises to bring to the area.

We would like to request this additional signage because of the unique attributes of our location, particularly the significance of our river path frontage, our river path entrance, our outdoor patio, and the unique shape and layout of our building. We are mindful of the balance required by the sign code and are committed to ensuring that our proposed signage maintains visual harmony while maximizing its positive impact on the visitor's journey along the river path and Mayfly Dr.

We are requesting four signs for a total of 233 sqft.

We appreciate your consideration of this request and believe that the adjustments will contribute positively to the overall success of Shelter Distilling and the Colorado Outdoors project.

Please feel free to contact me at 406-261-4424 or matt@shelterdistilling.com. We are enthusiastic about becoming a part of the Montrose community and appreciate your time and consideration of our application.

Thank you.

Matt Hammer
Co-Founder and Director of Marketing and Branding

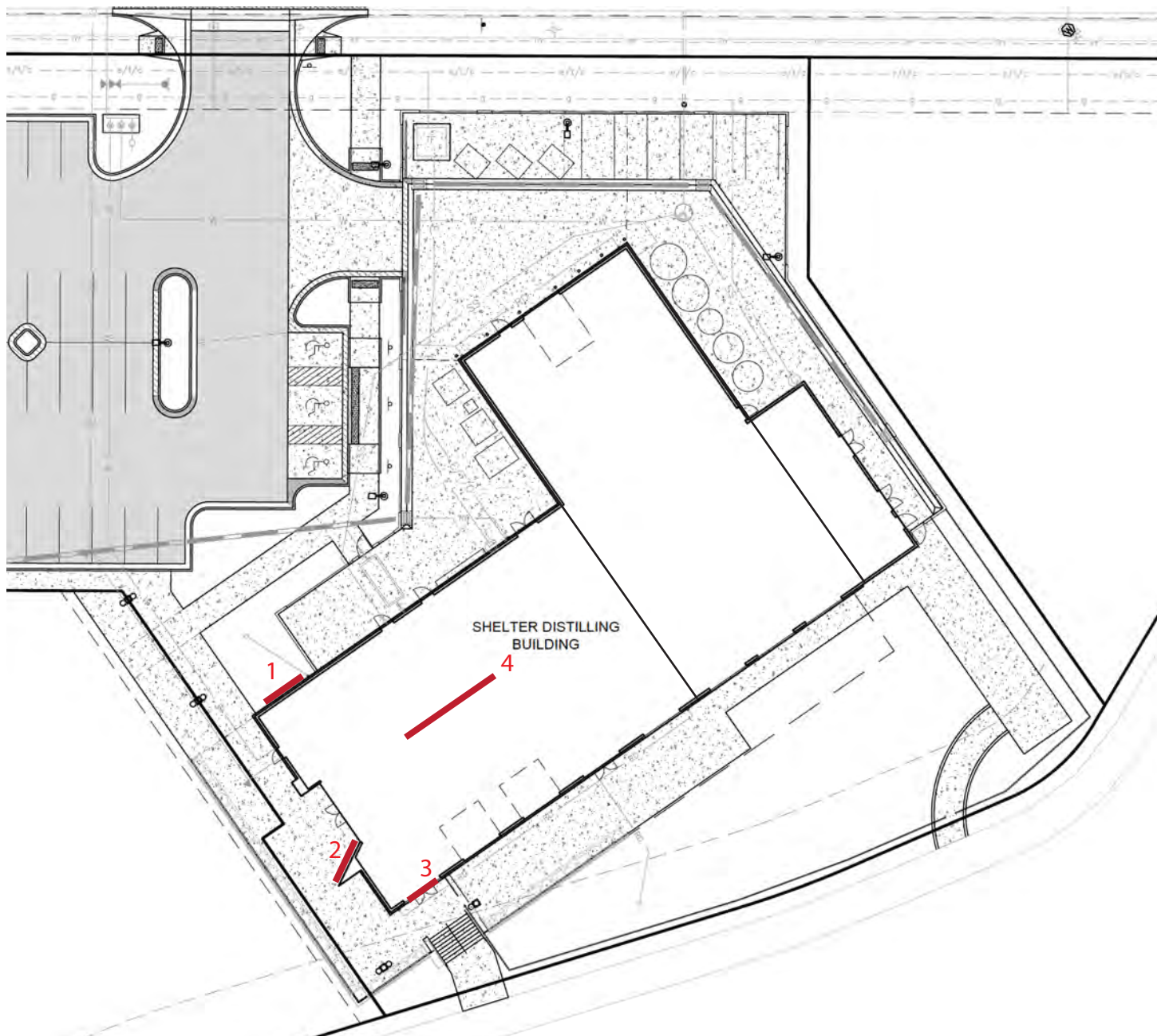
SHELTER DISTILLING SIGNAGE APPLICATION
947 MAYFLY DR. MONTROSE, CO 81401

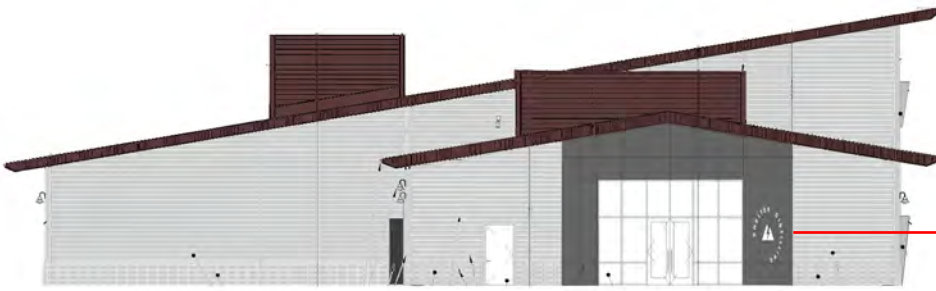


SHELTER DISTILLING SIGNAGE LOCATION

1. NORTHEAST ELEVATION WALK WAY - 8ft - Sign Color White
2. NORTHEAST ELEVATION ENTRANCE - 8ft - Sign Color White
3. SOUTHWEST ELEVATION RIVER PATH ENTRANCE - 4ft - Sign Color White
4. NORTHEAST ELEVATION - 6'H X 24'W - Sign Color Black
 - A. Illumination - Letters illuminated from behind creating a glow.

 Red is used to indicate placement of signs NOT COLOR





8' / SHELTER LOGO

WEST ELEVATION



6'H x 24'W / SHELTER DISTILLING TEXT

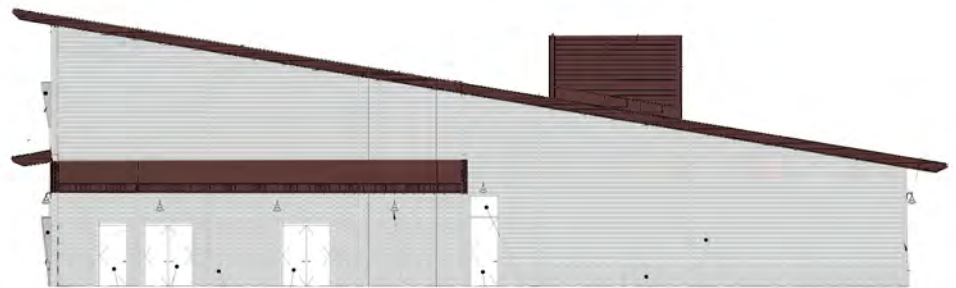
8' / SHELTER LOGO

NORTHEAST ELEVATION



4' / SHELTER LOGO

SOUTHWEST ELEVATION



EAST ELEVATION

SHELTER DISTILLING LOGO - SIGNS 1, 2, & 3



SHELTER DISTILLING TEXT - SIGN 4

**SHELTER
DISTILLING**



CITY OF MONTROSE

Planning Services

MEMO

TO: Planning Commission
FROM: Jace Hochwalt, Community Development
Director DATE: February 28, 2024
RE: 2023 Development Report

ATTACHMENTS:

- Exhibit A: 2023 Development Report

Background:

Please find attached the 2023 Development Report for the City of Montrose. This report gives an update on the building and planning activity and trends over the last several years in the Montrose area. It also provides information about demographic and economic changes seen over the same time period. While development slowed slightly in 2023 (compared to 2022), it still remains strong. Major subdivision developments are working their way through the pipeline, multi-family projects are under construction with significant interest in new multi-family proposals, and commercial interest is still plentiful with businesses (large and small) relocating to Montrose. As such, it appears that Montrose is positioned for another successful year of development in 2024.

CITY OF MONTROSE 2023 DEVELOPMENT REPORT



Introduction

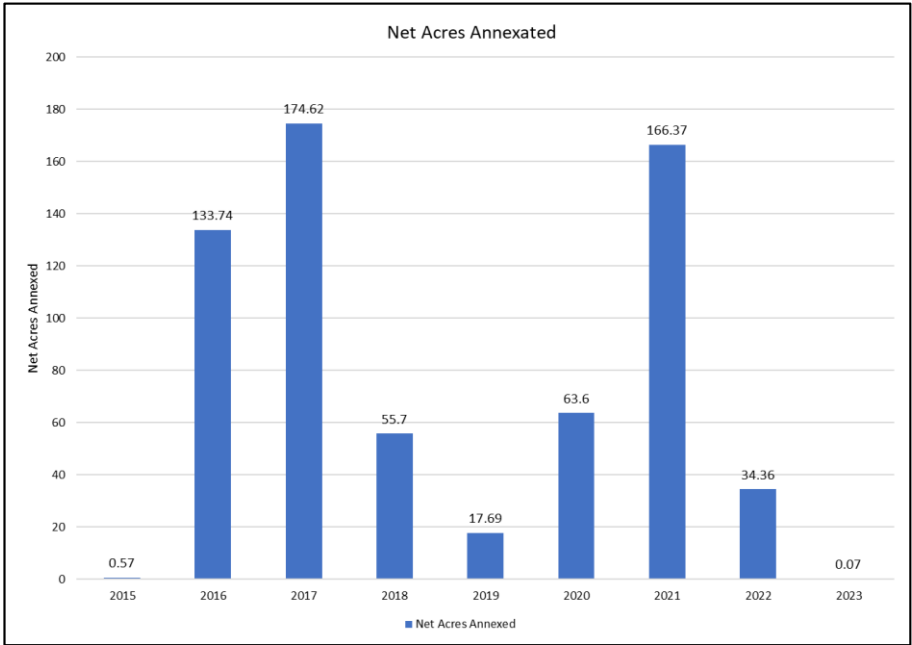
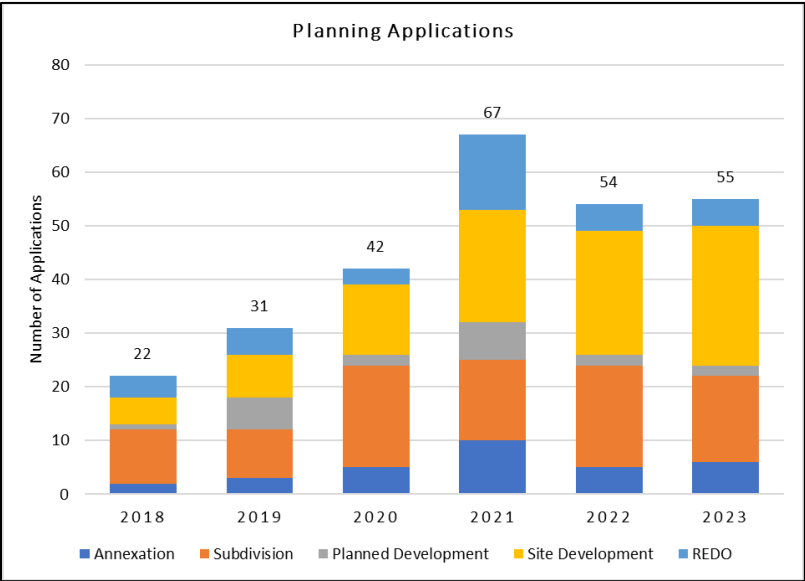
Development in 2021 and 2022 was characterized by rapid growth, largely fueled by the unique circumstances of the pandemic, which included shifts in work and lifestyle preferences, as well as a very low interest rate environment. With that said, 2023 has been marked by development growth that is shifting back towards pre-pandemic norms. Higher interest rates have led to increased borrowing costs for developers and individuals alike, affecting the affordability and feasibility of new projects. The low interest rates during the pandemic stimulated development and homebuying, but with those rates having moved to their highest levels in two decades, financing for new development has been hindered compared to the past few years.

Even with this shift, 2023 was an above-average year for growth in both residential and commercial development. Major residential projects approved in 2023 include the Residences at Dry Cedar Creek, which is a 60-unit low-income apartment development, and the Village on San Juan, a 45-unit supportive housing development for at-risk youth and the elderly. Both projects are under construction with an expected completion date in 2024. Another noteworthy residential project that started prior to 2023 is the Basecamp Apartment complex located within the Colorado Outdoors development. This was a four-building complex totaling 96 units. Three of the four buildings are complete and occupied, with the fourth and final building expected to be occupied in February of 2024. Major Commercial projects approved over the past few years are included in the grid below, with those shaded in yellow still under construction with an expected completion date in 2024.

Project Name	Description	Square Feet
River Valley Medical Office Building	Medical Office	11,200
Maverik	Gas Station/Convenience Store	4,425
Golden Gate	Gas Station/Convenience Store	4,195
Culvers	Fast-Food Restaurant	4,428
Montrose Public Safety Complex	Police Station (2-story)	37,096
Colorado Outdoors Flex Buildings (2)	Commercial/Retail	55,364
Discount Tire	Commercial/Retail	8,192
Secret Creek Facility (formerly Colorado Yurt)	Industrial/Manufacturing	32,671
Velocity Car Wash	Commercial/Car Wash	4,500
7 Brew Coffee	Drive-Thru	510
Montrose Regional Health Ambulatory Care Center	Medical Office (4-story)	85,640
Hotel (Fairfield)	Hotel (90 rooms)	52,377
Montrose Regional Airport expansion	Airport (2-story expansion)	27,801
Colorado Outdoors Medical Center	Medical Office (2-story)	58,624
Rathbone Hotel	Historic Building Remodel- 17 rooms	11,693
Shelter Distillery	Restaurant/Distillery	13,962

Planning Statistics

Planning applications have been steadily growing over the last five years, with a large increase that coincides with the pandemic. 2021 was the busiest year for major applications, totaling 67. That said, 2022 and 2023 have reflected applications well above pre-pandemic trends. The area of largest growth over the last couple years is the increase in commercial Site Development applications. These applications grew from 13 in 2020 to 26 in 2023, reflecting that commercial building activity is still very strong.



Annexations have been sporadic over the last five years. In 2023, there were five annexations and two disconnections, with a net total of only 0.07 acres of property annexed into City limits. What this reflects is that a lot of the recent growth and subdivision activity has taken place within existing city limits. The adjacent chart shows the next acres annexed since 2015, with the grid below reflecting more specific details about annexations dating back to 2015.

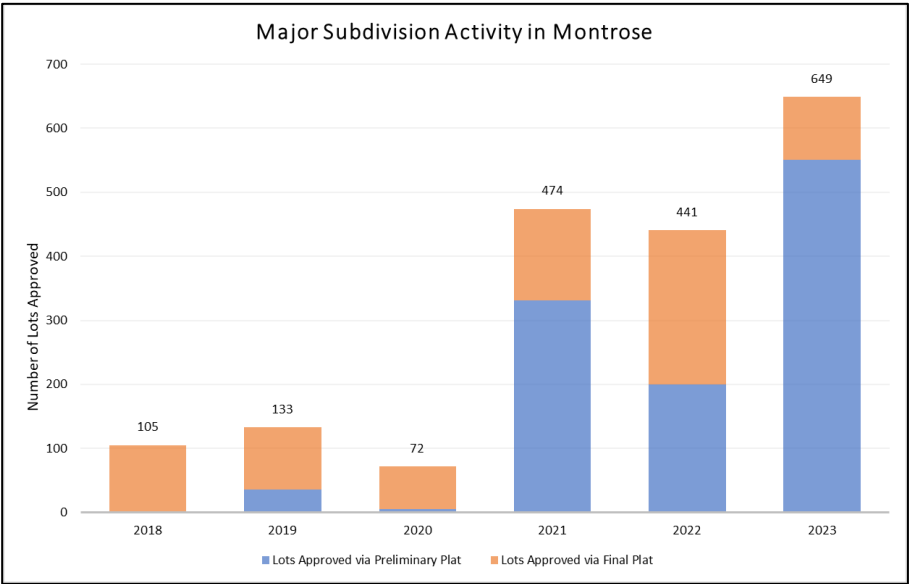
Annexation Summary Statistics									
Indicator	2015	2016	2017	2018	2019	2020	2021	2022	2023
Acres Annexed	0.57	133.74	174.62	55.05	17.69	63.6	158.4	34.4	26.32
Acres Disconnected	0	0	0	0.65	0	0.0	8.0	0.0	26.25
Net Acres Annexed	0.57	133.74	174.62	55.7	17.69	63.6	166.37	34.36	0.07
Number of Annexations	1	14	4	3	6	5	11	4	5
Number of Disconnections	0	0	0	1	0	0	1	0	2

Residential Subdivision Activity

Residential subdivisions go through many phases prior to development and construction. This includes the initial conceptual design, final design of infrastructure, construction of infrastructure (such as roads and utilities), and platting of new lots; all of which are precursors to new home construction. The first phase of a subdivision is known as a Preliminary Plat. Upon approval of this phase, the developer can start infrastructure construction. The next step

following the infrastructure completion of Preliminary Plats is known as a Final Plat. It should be noted that Preliminary Plats can contain hundreds of lots, but Final Plats will typically be phases of a Preliminary Plat, which receive final approval based on the developer’s construction phasing schedule, their ability to finance projects, and market demand, which can take several years or even decades.

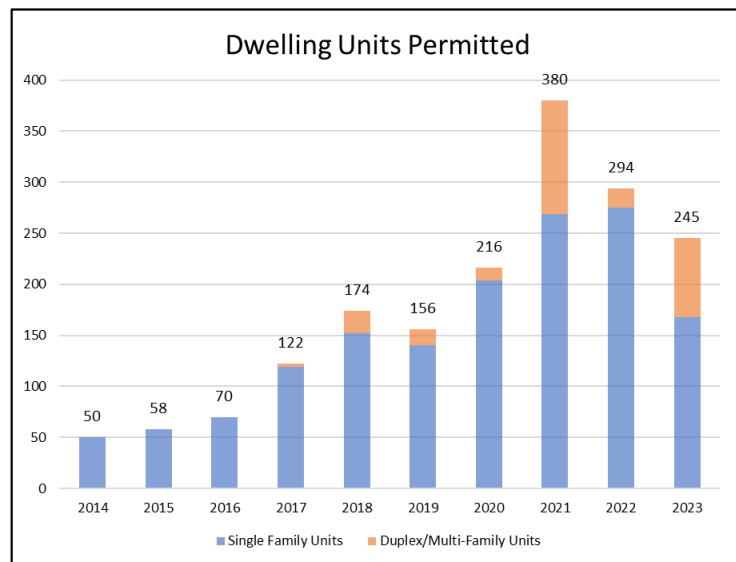
Much of the subdivision activity that was seen in the 2010’s was the final platting of Preliminary Plats approved in the mid-2000’s. That said, in the past three years, there has been a ramp up in Preliminary Plats, as reflected in the exhibit above. Since 2021, there have been 17 preliminary plats approved inclusive of 1,515 residential lots. It would be anticipated that these preliminary plats be constructed and move into the final platting phases over the next decade. As of the date of this report, there are four major subdivisions under review, inclusive of 125 lots under Preliminary review, and 9 lots under Final review.



Residential Construction Summary

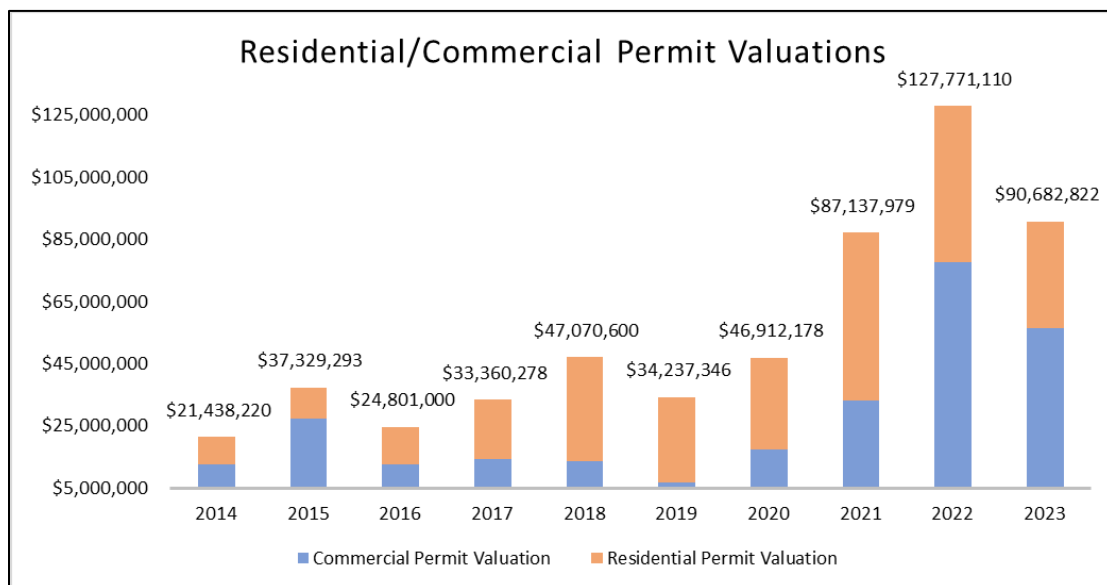
New residential construction started to see growth in 2016/2017 as the Montrose community was coming out of the Great Recession. That steady growth surged during the pandemic, with a spike in construction noticed starting in the third quarter of 2020. While multi-family projects were nonexistent in the early and mid-2010’s, duplex and multi-family interest started to increase in 2018, and major projects like the Basecamp Apartments (96 units approved in 2021) and the Residences at Dry Cedar Creek (60 units approved in 2023) really pushed up the number of units permitted in the last few years. In the bar chart on the following page, the blue represents the number of single-family stick built and manufactured homes approved, whereas the orange represents the number of duplex and multi-family units approved.

What the adjacent chart helps illustrate is that Montrose has seen a more diversified housing type over the last few years. Prior to 2018, almost all new residential units were in the form of single-family detached homes. However, townhomes, apartments, and accessory dwelling units (ADU's) have grown in popularity in recent years. The Montrose Housing Needs Assessment foresees this trend continuing, especially given the affordability challenges that exist.



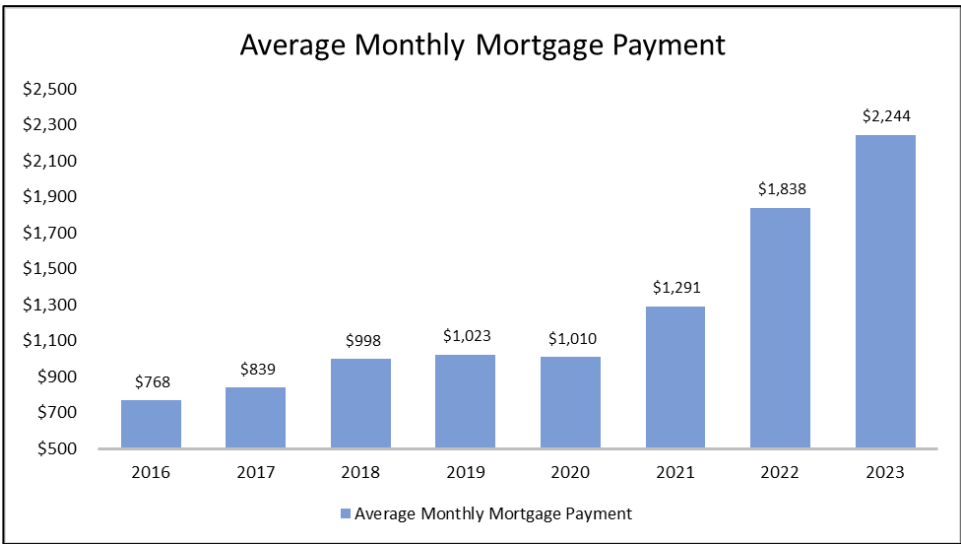
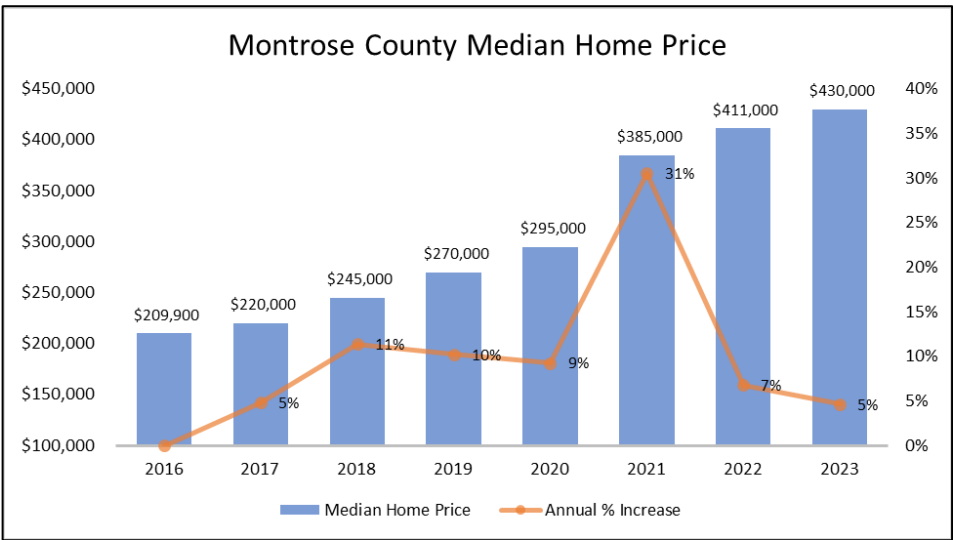
Building Permit Valuations

The chart below reflects building valuations of permitted construction from 2014 onward. Permit valuations were fairly consistent up until 2020. That said, 2021 saw a sizable ramp-up in both commercial and residential activity, and in both 2022 and 2023, commercial permit valuations actually exceeded residential permit valuations for the first time since 2015. While permit valuations peaked in 2022 at over \$127 million, they are still well above pre-pandemic trends, which averaged just over \$30 million/year from 2014 to 2020. Some of the specific projects contributing to this growth can be found in the grid on Page 1 of this report.



Housing Prices and Affordability

Median home sale prices continue to climb, reaching \$430,000 in 2023 in Montrose County according to the Colorado Association of Realtors. While this is only a modest increase of 5.0% from 2022, it is notable to mention that prices have increased 105% since 2016, with the largest year of annual growth in 2021, where median prices went from \$295,000 to \$385,000 (31%). While prices have increased dramatically in recent years, monthly mortgage payments for home purchases have increased at an even faster pace, particularly in the last 18 months, due to the increase in mortgage rates. The average monthly mortgage payment for an average priced home in 2020, assuming a 20% downpayment, and not including property taxes and other expenses, averaged \$1,010/month. The average



monthly mortgage payment in 2023 (with the same assumptions) equated to \$2,244/month, a staggering 122% increase over that three-year period.

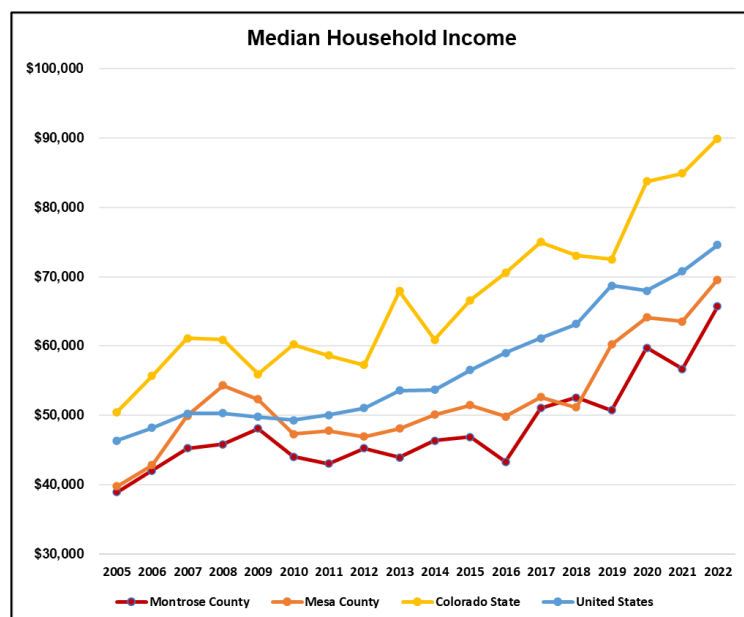
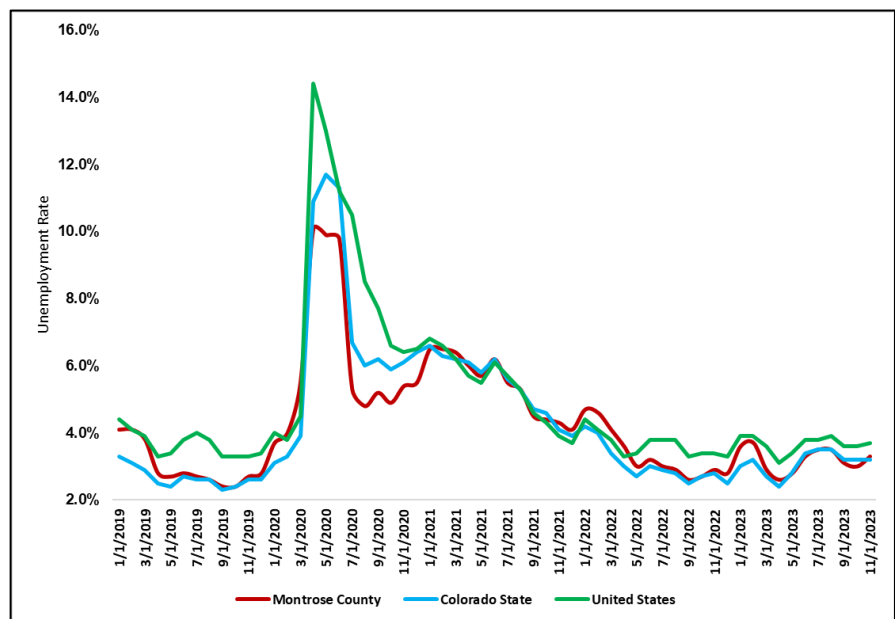
While interest rates and the average cost of a mortgage have gone up drastically over the last 18 months, housing inventory remains low, which has kept prices stagnant. The Federal Reserve has indicated that they will hold rates

steady in early 2024 and likely drop them slightly in the latter half of the year. An interest rate decrease could reduce the average monthly mortgage payment a bit, but unless rates or home prices drop dramatically, monthly mortgage payments will likely remain well above the medium and long-term trend lines. While homeowners have seen sizable gains in home equity if they purchased prior to 2022, there is a broader concern regarding housing affordability, as not everyone has benefited from the rise in prices. Simply put, many perspective buyers have been priced out of the market, particularly first-time home buyers.

Population Growth, Economic Changes & Tourism

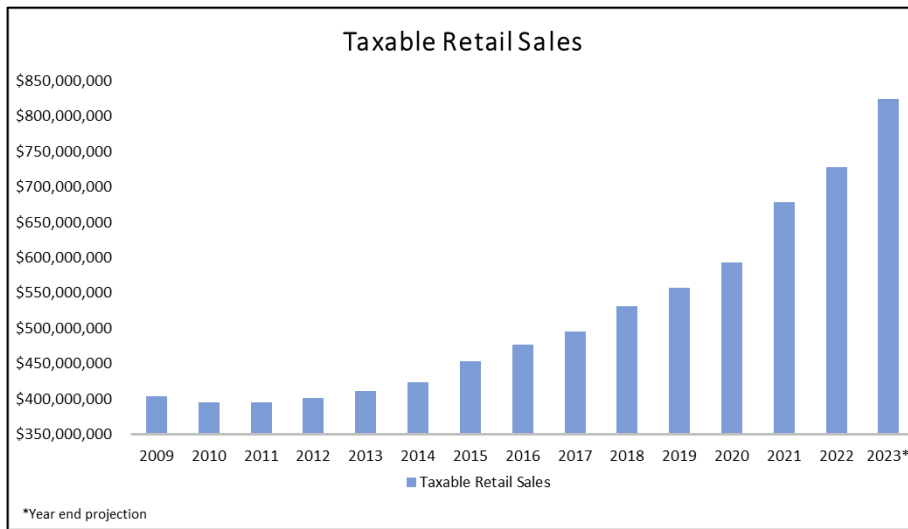
Census 2020 population counts were released in mid-2021 and reflected a population for the city of Montrose at 20,291, and 42,800 for Montrose County, which falls in line with past estimates. The pandemic spurred on rapid growth in rural areas like Montrose, but that growth appears to be normalizing and is expected to slow due to lower birth rates, an aging population, and slowing net migration. The recently completed Montrose Housing Needs Assessment projects that Montrose County will have a population of about 52,000 by 2040, which equates to an annual growth rate of about 1.2%/year. To accommodate this growth, there will need to be a total of 3,929 housing units built, which average out to approximately 218 units per year.

As it relates to unemployment, September of 2019 reflected an unemployment rate in Montrose County at 2.4%, the lowest unemployment rate ever recorded. Unemployment rates started to go up slightly at the end of 2019, which is the seasonal winter standard in Montrose County. However, with the onset of the pandemic in early March of 2020 came government shutdowns and changed consumer habits. Businesses closed their doors and employment trends reflected an unprecedented change. Unemployment peaked for Montrose County (as well as the state and nation) in April of 2020 at 10.1% and has steadily moved downward to its current rate of 3.0%. While unemployment



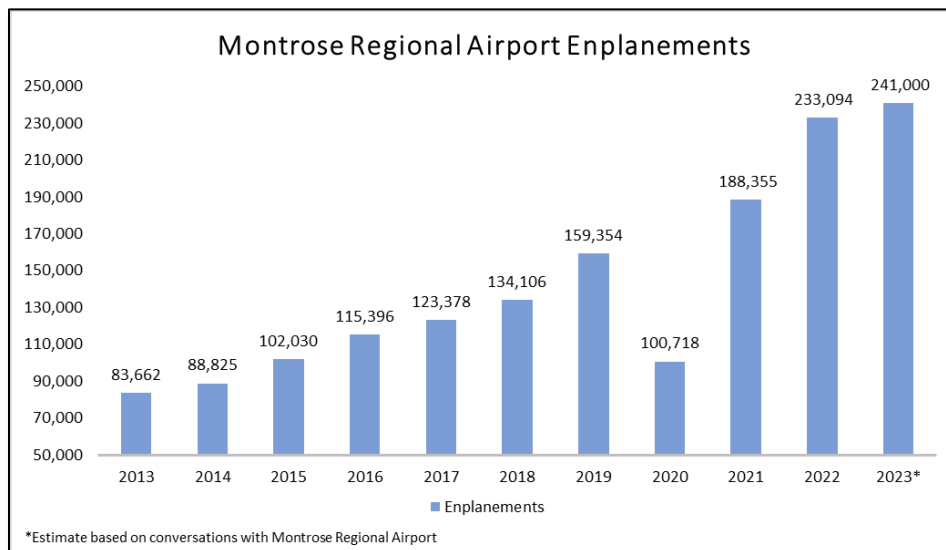
is close to record lows, employment numbers are finally getting back to their pre-pandemic norms. For many in the baby-boomer generation, the pandemic actually expedited retirement plans, and employers have struggled to fill those vacant jobs over the last couple years.

While employment seems to have stabilized, median household income is on the rise, and based on 2022 data (most recent available), incomes have risen by 25% since 2018. Montrose County's median household income sits at \$65,736/year, which still sits below Mesa County (\$69,578/Year) and well below the nation (\$74,580/Year) and the state (\$89,930/Year).



As it relates to the local economy, taxable retail sales were consistently rising from 2012 to 2020 at an average pace of just over 5% per year. 2021 reflected the largest year over year increase, at 14.5%, and retail sales have continued to grow, with a projected \$824 million in 2023. This rapid growth appears to coincide with the onset of the pandemic, which caused a spike in growth as well as tourism. As reflected in the chart below, the

Montrose Regional Airport has seen steady and consistent growth since 2013 for enplanements, with the exception of 2020. This chart has a close correlation with taxable retail sales, and as enplanements and tourism increased, a significant increase in taxable retail sales was recognized.



Looking Ahead

Early on in the pandemic, rural areas saw an influx of new residents moving from major metro areas, as the pandemic created the opportunity for some to work remotely. Areas like Montrose that appeal toward outdoor recreation become favorable relocation options, as social distancing is easier to achieve compared to larger metro areas. As restrictions subsided and CDC guidelines have changed, people have started to make their way back to metro areas and cities, albeit at a varied rate depending on the location. This, in part, has slowed the rapid growth seen during the pandemic.

The state of the economy (locally, statewide, and nationally) will be something to keep an eye on as we move into 2024. Unemployment is back to pre-pandemic lows and median household income has increased over the last few years. However, the last three years of high inflation coupled with rising interest rates and the end of pandemic-related stimulus have reduced the personal savings rate to near all-time lows not seen since the years leading up to the Great Recession (2005 & 2006). With that said, while growth appears to have normalized from the growth surge of the pandemic, development is still at higher levels than pre-pandemic trends. Major subdivision developments are still working their way through the pipeline, multi-family projects are under construction with significant interest in new multi-family proposals, and commercial interest is still plentiful with businesses (large and small) relocating to Montrose. As such, it appears that Montrose is positioned for another successful year of development in 2024.



CITY OF MONTROSE

Planning Services

MEMO

TO: Planning Commission
FROM: Jace Hochwalt
DATE: February 28, 2024
RE: City of Montrose 2024 Annual Annexation Report and 3-Mile Plan

ATTACHMENTS:

- Exhibit A: Maps
-

Background:

Please find attached the City of Montrose 2024 Annual Plan of Annexation and 3-Mile Plan, as stipulated by Colorado State Statutes. The Plan contains verbal policies and maps to illustrate annexation priorities, eligible enclave annexations, existing city limits, growth areas, and transportation routes. The Plan will fulfill the statutory requirement to have a “plan in place” to annex new properties in 2024. Annexation plans must be adopted each year. The Planning Commission reviews this Plan, but no official action is taken by the Planning Commission.

Schedule:

January 2, 2024	City Council Work Session
January 2, 2024	City Council Presentation
February 28, 2024	Planning Commission Presentation



**CITY OF MONTROSE
2023
ANNUAL ANNEXATION PLAN AND REPORT &
THREE-MILE PLAN**

Nature of Plan

This plan generally describes the proposed land uses, location, character, and extent of utility and street infrastructure and service to within 3 miles of the City of Montrose, herein referred to as “City,” as required by CRS §31-12-105(1)(e).

The City of Montrose Envision 2040 Comprehensive Plan, as adopted in June 2021, shall be incorporated into this Plan. Master Plans of federal agencies or the County of Montrose, and Montrose County Airport for any public lands under their jurisdiction within the boundaries of the attached 3 Mile Plan map of the City of Montrose shall also be referenced as part of the City of Montrose 3 Mile Plan, except to the extent where inconsistent with City ordinances, regulations, and components in this plan. See Exhibit A.

Annexation Policy

In general, the City of Montrose will annex from the center of the City out into the Growth Areas within the Growth Boundary and 3 Mile Plan. The City will consider areas and properties as requested by property owners for annexation. Qualified enclaves, City owned property, areas expected to develop as urban with City influence, and areas with City utilities or capacity to serve, will also be considered.

Priority for Annexation in 2024

As a matter of establishing priority for annexation in the year 2024, the City shall consider annexation of the following properties subject to the statutory limitations as provided above, and areas that can meet statutory eligibility requirements as set forth in CRS §31-12-104 and CRS §31-12-105.

- (1) **Private land owner request.** For private parties meeting the statutory requirements.
- (2) **Properties served adequately and properly by City utilities.**
- (3) **Highway Corridor properties** south on Highway 550, north on Highway 50, east on Highway 50, and west on Highway 90 where it is feasible to serve such

properties with existing infrastructure or where adequate infrastructure could generally be extended to serve such areas.

- (4) **Existing enclaves** as identified in red on the attached Exhibit B.
- (5) **Growth Areas**, as identified on Exhibit C.

City Utility Infrastructure

Annexations shall be subject to existing City policy, as may be amended, and the City Comprehensive Plan. The extension of City utilities and services to such properties shall be in accordance with the Official Code of the City of Montrose, Chapter 3-5 and Chapter 11-4.

Additionally, potable water service shall be in accordance with the Water Service Area Agreements as executed between the City and the Tri County Water Conservancy District, the City and the Menoken Water District, and the City and the Chipeta Water District. The respective service areas are delineated in the attached Exhibit D.

The extension of sewer service shall also be in accordance with the 201 Plan and the 208 Area Waste Management Plan (“Waste Water Service and Treatment Agreement”) as executed by the City, the County of Montrose, and the West Montrose Sanitation District, as amended from time to time.

The City regularly plans for and implements the upsizing and improvement of existing sewer and water lines. The majority of sewer and water line extensions are precipitated by growth through residential, commercial, and industrial subdivision.

The City’s current and planned utilities infrastructure is discussed in the 2021 City of Montrose Comprehensive Plan (Chapter 10).

Road Infrastructure

Major Highways within the City of Montrose are: Highway 50 to the north and east, Highway 90 to the west and Highway 550 to the south. The City shall generally adhere to its Transportation Plan as included within the City Comprehensive Plan. Current and proposed roads and streets are shown in the City of Montrose Comprehensive Plan (Chapter 6), and in the County’s road and bridge map and plan (Exhibit E).

Parks, Trails, and Open Space

“Encourage and facilitate a variety of public parks, trails, and recreation opportunities in strategic locations”, a guiding principle of the City of Montrose Comprehensive Plan (Chapter 8), acts as a guide to the development of a linked, cohesive park and open space system. The Parks Master Plan (Exhibit F) illustrates the locations of regional, community and neighborhood parks currently existing in the City of Montrose, and the conceptual areas where future parks are needed to address current deficits and meet projected needs over the next 10 to 20 years.

The map titled, "Recreation Trail Alignments," (Exhibit G) shows existing and proposed recreation trails throughout the City.

City and Public Utilities

- (1) Electrical Power – Delta Montrose Electric Association
- (2) Telephone and Internet Access – Spectrum, Elevate Fiber, and other services
- (3) Natural Gas – Black Hills Energy available in the City, and in the fringe areas of the City
- (4) Cable Television and Internet Access – Spectrum, DMEA, Elevate Fiber, and others
- (5) Sewer – Available in and near the City, by the City of Montrose. Available in the West Montrose Sanitation District. City sewer is extended as per City Ordinances. The City's 201 and Region's 208 Plan are hereby incorporated by reference.
- (6) Trash Collection – City trash service and recycling services are provided within the City to Sanitation customers. Private trash collection services operate both outside and within the City. The Montrose Area Landfill and other recycling facilities are privately operated.
- (7) Water Service – Potable water service within the 3 Mile Area is provided by the City of Montrose, Tri-County Water Conservancy District, Menoken Water District and the Chipeta Water District within their respective service areas as provided by the agreements between the parties.
- (8) Transportation Service – No transportation services are provided by the City of Montrose, other than streets, sidewalks, and multi-use trails. All Points Transit currently provides public transportation services.

General Provisions

- (1) To the extent that any item mentioned in CRS §31-12-105(1)(e) is not reflected in the documents, maps and plans included as a part of this plan, this plan should be construed to mean that these types of facilities are not provided.
- (2) Proposed land uses are residential and agricultural, except as otherwise shown or provided by City zoning, land use plan, or the Comprehensive Plan.

Annexations in Past Three Years

2021 Additions

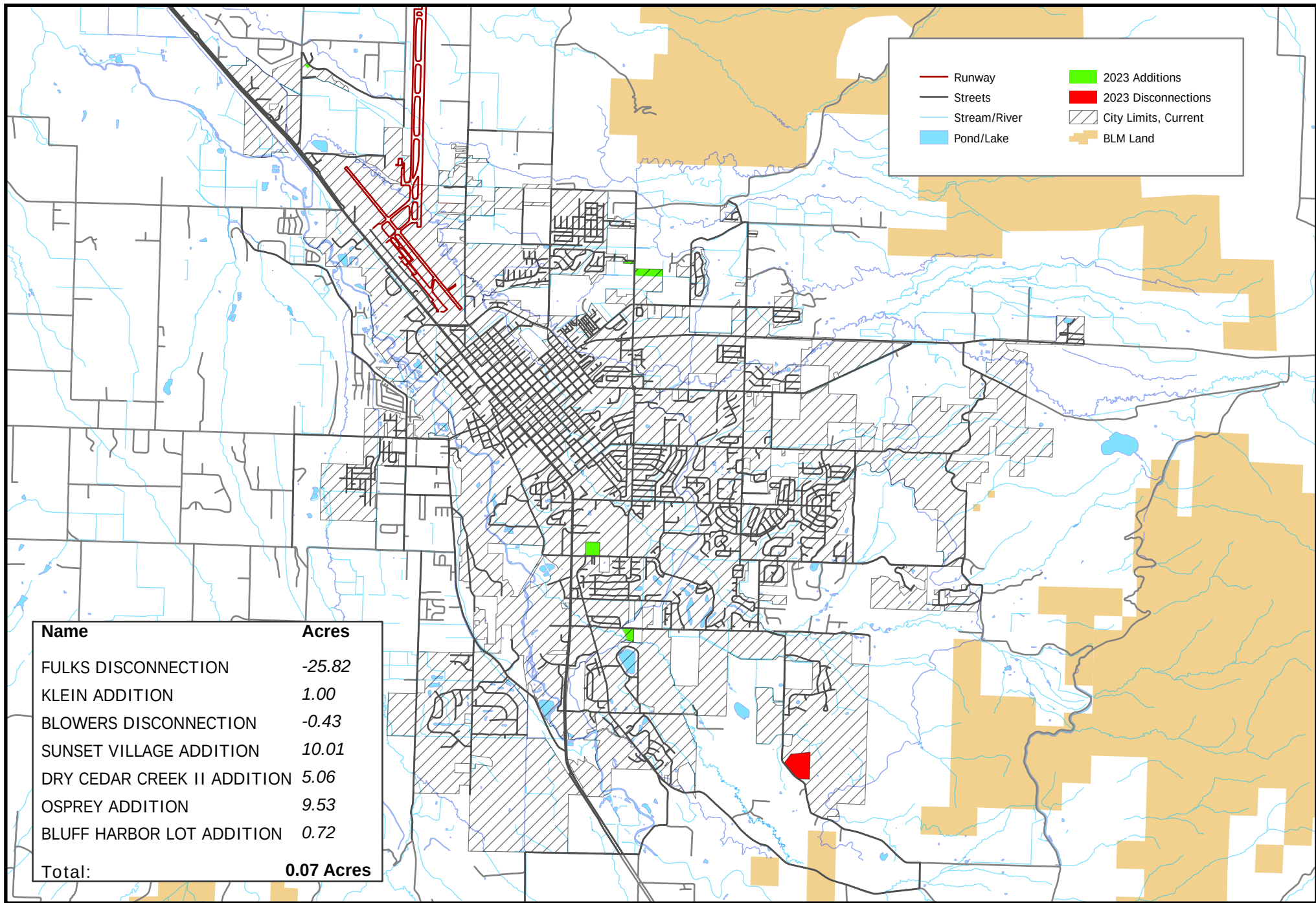
Name	Acres
Rainbow Trout Addition	2.82
Hilltop Addition II	0.45
Lynch Addition	16.84
Valley Ranch Addition North	60.81
Valley Ranch Addition South	70.16
Highway 50 Addition	15.04
Riverside Park Addition II	2.09
Riverside Park Addition III	0.032
Morris Property Disconnection	-7.95
Riverbend RV Park Addition II	0.26
McCracken Addition	2.295
Grace Community Church Addition II	3.48
TOTAL	166.327

2022 Additions

Name	Acres
Niagara Road Addition	0.38
6700 Dejulio Addition	9.30
Mier Addition	14.67
Hilltop Annexation North	10.01
TOTAL	34.36

2023 Additions

Name	Acres
Fulks Disconnection	-25.82
Klein Addition	1.00
Blowers Disconnection	-0.43
Sunset Village Addition	10.01
Dry Cedar Creek II Addition	5.06
Osprey Addition	9.53
Bluff Harbor Lot Addition	0.72
TOTAL	0.07



City of Montrose 2023 Annexations

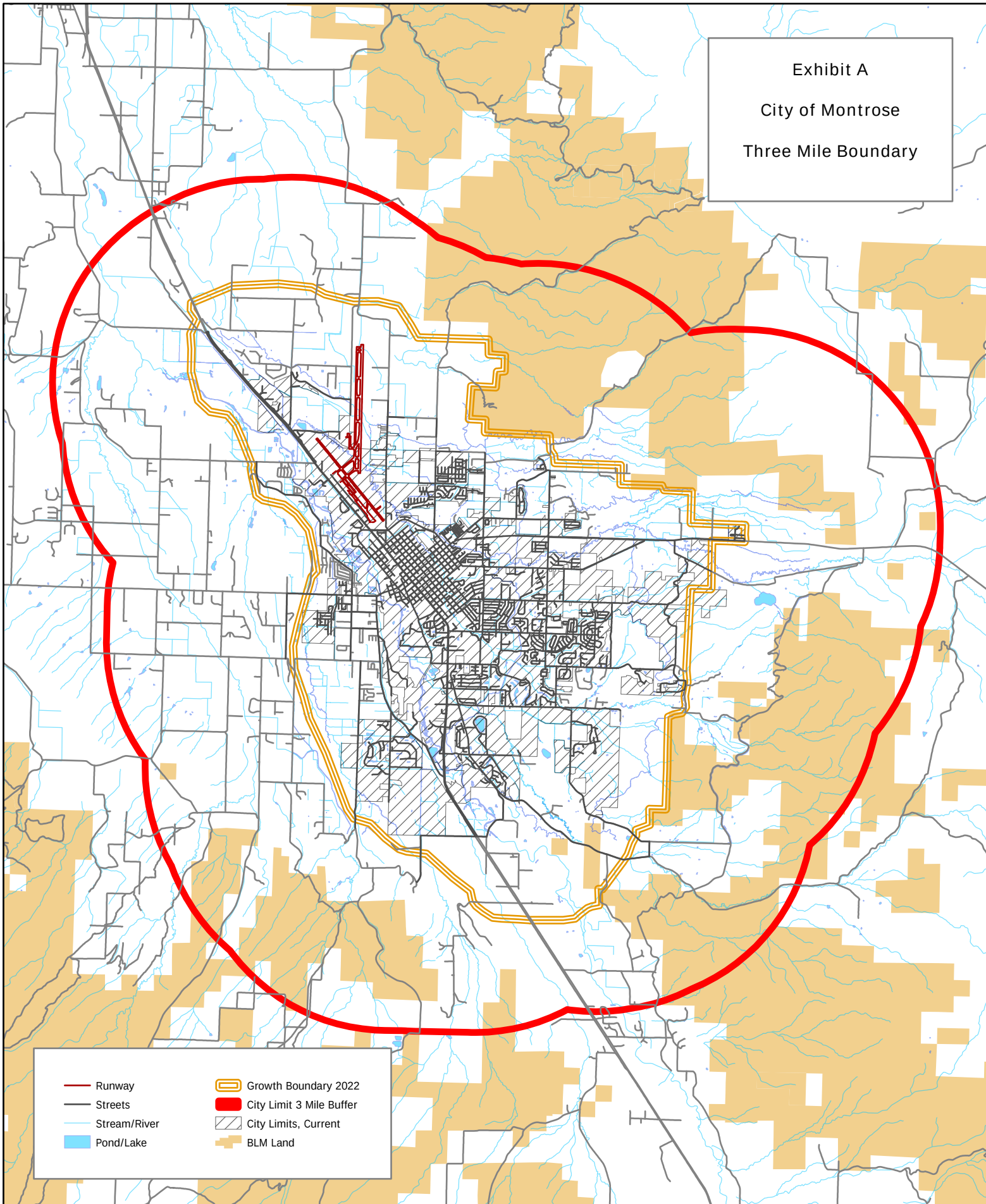
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Exhibit A
City of Montrose
Three Mile Boundary



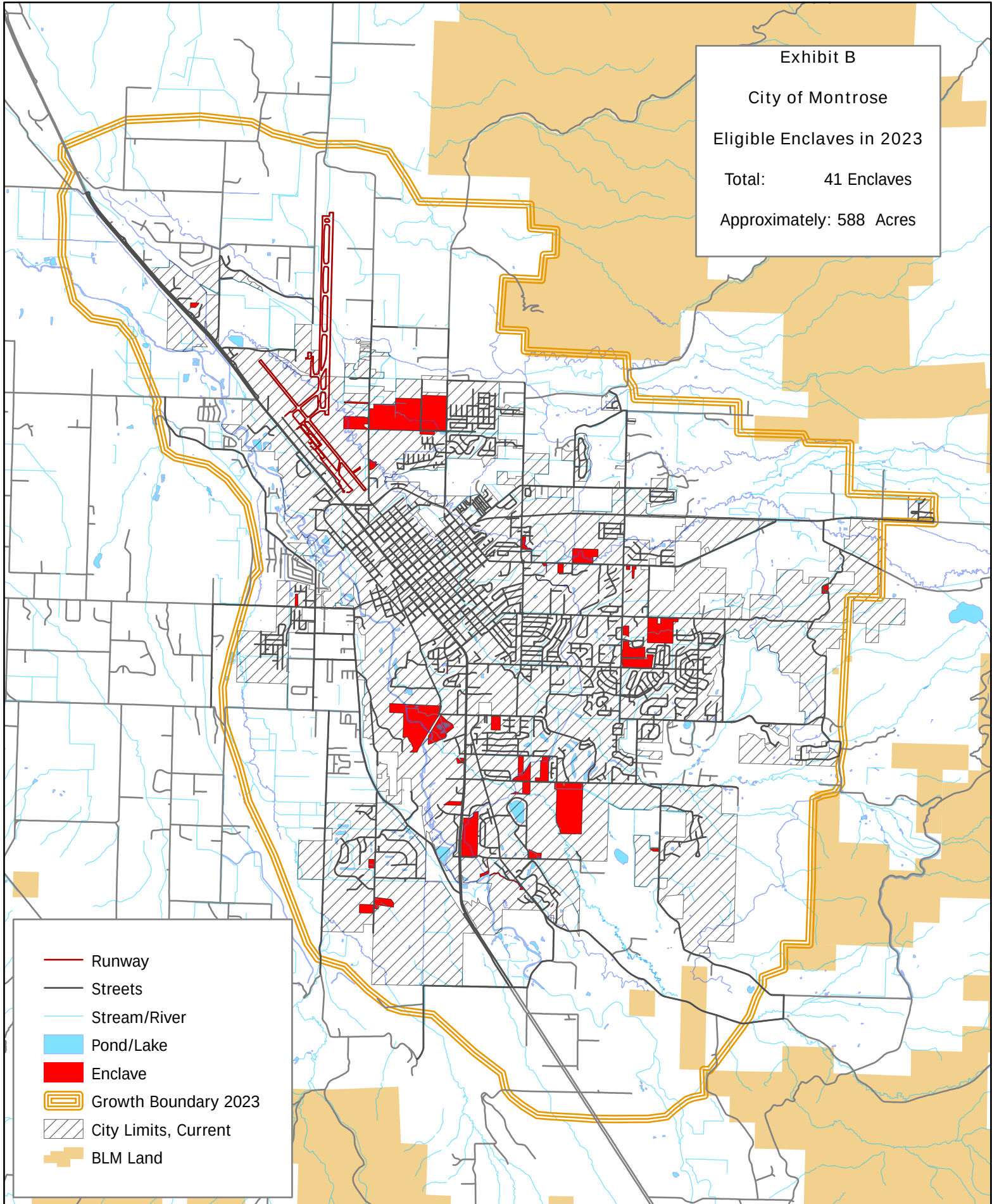


Exhibit B City of Montrose 2023 Eligible Enclaves

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GROWTH AREAS*

MAP 5.2

-  City Limits
-  2005 IGA Referral
-  Urban Growth Boundary
-  Growth Area 1
-  Growth Area 2
-  Growth Area 3

* A Growth Area is an area identified for future development based on a framework for guiding growth in an incremental manner.

Exhibit C

City of Montrose
Growth Areas

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Exhibit C City of Montrose Growth Areas

Scale: 1:75,000

1 0.5 0 1 Miles

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Exhibit D

City of Montrose
Water Service Districts and
Companies

MENOKEN
SERVICE
AREA

CITY OF
MONTROSE
SERVICE AREA

SUBURBAN
SERVICE AREA

CHIPETA
SERVICE
AREA

TRI-COUNTY
SERVICE AREA

-  Runway
-  Streets
-  Stream/River
-  Pond/Lake
-  CHIPETA SERVICE AREA
-  CITY OF MONTROSE SERVICE AREA
-  MENOKEN SERVICE AREA
-  TRI-COUNTY SERVICE AREA
-  SUBURBAN SERVICE AREA
-  Growth Boundary 2023
-  City Limits, Current
-  BLM Land



Exhibit D City of Montrose Water Districts and Water Companies

Scale: 1:75,000

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TRANSPORTATION

Proposed Roadway Network and Classification

Exhibit E

City of Montrose
Proposed Roadway and
Network Classification

* Due to topography, precise alignment of this arterial route will be determined upon development of the area. It is expected that deviations to this route, some of which may be significant, will be made.

- ⊙ Roundabout
- ⊕ Traffic Light
- MAJOR ARTERIAL
- MINOR ARTERIAL
- COLLECTOR
- PROPOSED COLLECTOR
- PROPOSED MINOR ARTERIAL
- BLM
- CDOW
- Forest Service
- NPS
- City Limits
- 2005 IGA Referral Area

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Exhibit E City of Montrose Proposed Roadway and Network Classification

Scale: 1:75,000

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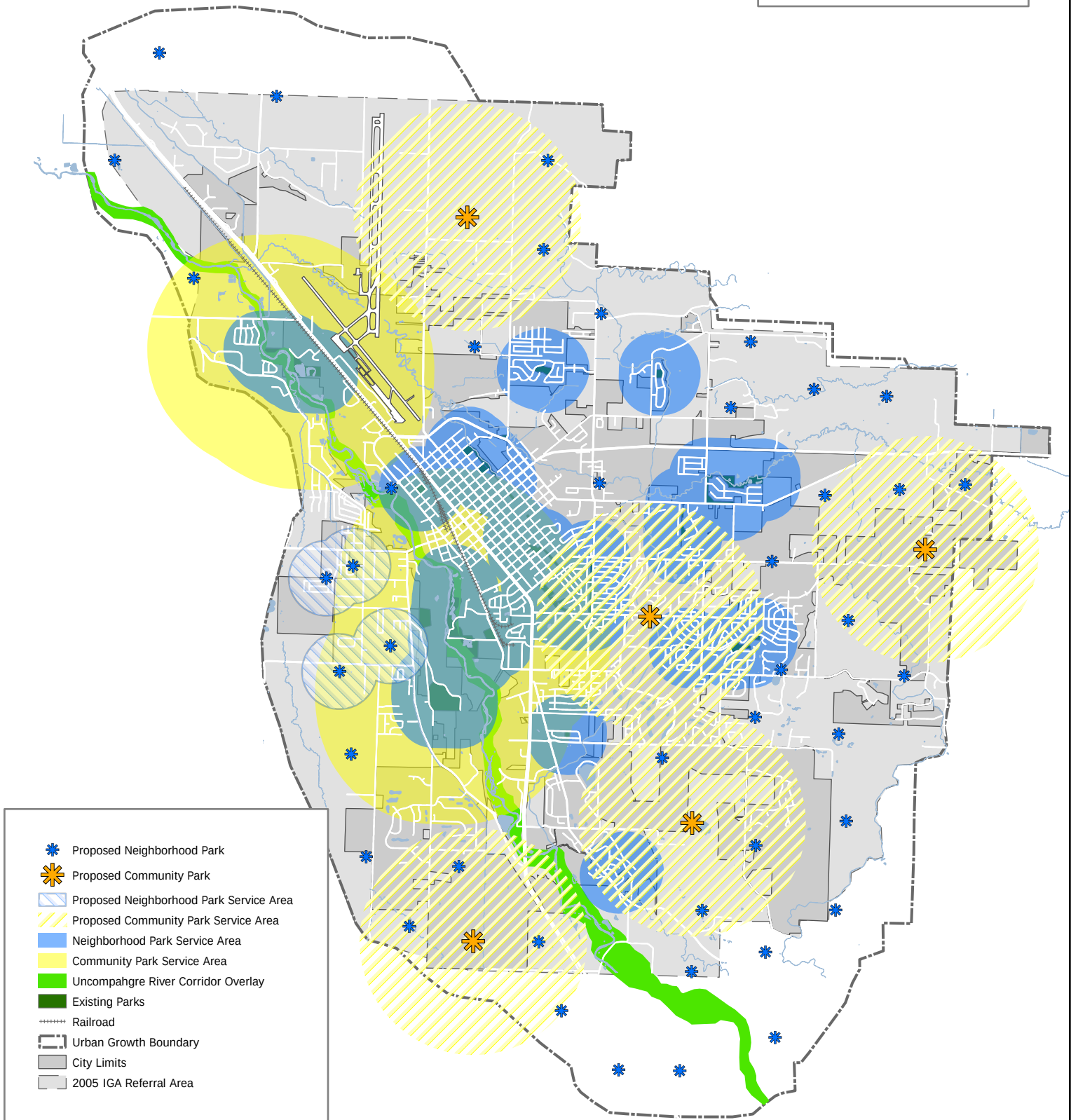


PARKS MASTER PLAN

MAP 8.1

Exhibit F

City of Montrose
Parks Master Plan



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Exhibit F City of Montrose Parks

Scale: 1:75,000

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RECREATION TRAIL ALIGNMENTS

MAP 1.1

Exhibit G

City of Montrose
Recreation Trail Alignments

